



AGENDA

Planning Commission Regular Meeting

Tuesday, July 23, 2024

6:30 PM

City Council Chambers, City Hall

- 1. CALL TO ORDER/PLEDGE OF ALLEGIANCE**
- 2. ADDITIONS TO AGENDA**
- 3. AUDIENCE INPUT**
- 4. CONSENT AGENDA**
 - a. Minutes of the June 25, 2024 Regular Meeting
- 5. OLD BUSINESS**
- 6. PUBLIC HEARINGS**
 - a. Request by KJ Walk for approval of a PUD Final Site and Building Plan and a Major Amendment to the Rosewood Commons Planned Unit Development Agreement to allow for the construction of two commercial buildings with outdoor dining and a drive-through facility.
- 7. NEW BUSINESS**
- 8. DISCUSSION**
- 9. ADJOURNMENT**

**ROSEMOUNT PLANNING COMMISSION
REGULAR MEETING PROCEEDINGS
JUNE 25, 2024**

CALL TO ORDER/PLEDGE OF ALLEGIANCE

Pursuant to due call and notice thereof a regular meeting of the Planning Commission was held on Tuesday, June 25, 2024, at 6:30 P.M. in Rosemount Council Chambers, 2875 145th Street West.

Chairperson Kenninger called the meeting to order with Commissioners Reed, Ellis, Rivera, Buggi, Whitman, and Beadner.

Staff present included the following: Community Development (CD) Director Kienberger, Senior Planner Nemcek, Planner Hogan, and CD Technician Grant.

The Pledge of Allegiance was said.

ADDITIONS TO AGENDA

None.

AUDIENCE INPUT

None.

CONSENT AGENDA

Motion by Kenninger **Second by** Reed

Motion to approve the Consent Agenda.

Ayes: 7.

Nays: None. Motion Carried.

- a. Minutes of the May 28th, 2024 Regular Meeting

OLD BUSINESS

PUBLIC HEARINGS

- a. Request by Maplewood Development for preliminary and final plat approval for Amber Fields 17th Addition to create 99 single-family lots.

CD Technician Grant presented the application from Maplewood Development to create 99 single-family lots for Amber Fields 17th Addition.

Commissioner Comments

Commissioner Reed asked for clarification on the caliper inches required of the Planned Unit

Development (PUD). CD Technician Grant elaborated that there would be 10 caliper inches added to mitigation measures. Senior Planner Nemcek commented that the central park area will have a majority of the required trees for the Amber Fields development.

The Public Hearing opened at 6:38 p.m.

The Public Hearing closed at 6:38 p.m.

Motion by Kenninger Second by Reed

Motion to close the Public Hearing.

Ayes: 7.

Nays: None. Motion Carried.

Motion by Beadner Second by Ellis

Motion to recommend the City Council approve the Preliminary and Final Plats for Amber Fields 17th Addition, subject to:

1. Execution of a subdivision agreement
2. Conformance with all requirements of the City Engineer as detailed in the attached memorandum dated June 20, 2024
3. No structures are allowed within any easement areas.
4. Payment of \$39,270 as a landscape surety
5. Compliance with the conditions and standards within the Parks and Recreation Director's memorandum dated June 14, 2024.
6. Payment of trunk area charges in the amount of:

1. Sanitary Sewer Trunk Charge: \$1,075/acre
2. Watermain Trunk Charge: \$6,500/acre
3. Storm Sewer Trunk Charge: \$6,865/acre

Ayes: 7.

Nays: None. Motion Carried.

- b. Amendment to the Conditional Use Permit for Place of Worship in the R1-Low Density Residential Zoning District at 2058 Bonaire Path West.

Senior Planner Nemcek presented the request to amend the Conditional Use Permit for Al-Madina Association.

Commissioner Comments

Commissioner Reed asked if there were any planned along Birchwood Avenue in addition to the current safety poles set out to slow down traffic. Senior Planner Nemcek deferred to City engineering staff and the traffic safety committee. Nemcek noted that Community Development is trying to extend Biscayne North from Connemara Trail up to Bonaire Path. Commissioner Beadner verified with Senior Planner Nemcek that paved parking is provided in addition to proof of parking within the site plan.

The Public Hearing opened at 6:49 p.m.

The Public Hearing closed at 6:50 p.m.

Motion by Kenninger Second by Ellis

Motion to close the Public Hearing.

Ayes: 7.

Nays: None. Motion Carried.

Motion by Buggi Second by Reed

Motion to recommend the City Council approve the amended Conditional Use Permit for a Place of Worship at 2058 Bonaire Path West, subject to the following conditions:

- a. The applicant shall apply for and receive all required building permits and approvals to construct a place of worship.
- b. The applicant shall remove the existing garage prior to the city issuing certificates of occupancy for the place of worship building.
- c. The site shall be connected to municipal sewer and water.
- d. The driveway shall be widened to 20' to accommodate emergency apparatus, and the parking plan shall be amended to provide a turnaround that will accommodate emergency apparatus.
- e. The parking lot shall be paved and striped in accordance with Section 11-6-1: Off Street Parking Requirements and expanded as needed to avoid parking on side streets.
- f. The use shall conform with the following requirements:
 1. All structures must comply with State building Code, State Fire Code, Mechanical Code, Energy code, Plumbing Code, Electrical code, and Accessibility codes.
 2. The property must comply with all applicable City Code provisions.
 3. Driveway width access road 20' minimum.
 4. Fire Department turn-around 150' Max
 5. Address required to be visible from right of way.
 6. Non-compliant septic systems are required to be removed.
 7. Connection to City sewer and water is required.

Ayes: 7.

Nays: None. Motion Carried.

- c. Variance request by Nick Reitberger to reduce the side yard setback standard for surface parking and driveways and to increase the maximum lot coverage standard to allow for an existing driveway extension to remain on the property.

Planner Hogan presented the variance application by Nick Reitberger as it pertains to his driveway extension.

Commissioner Comments

Commissioners and City staff discussed hypothetical next steps if the variance was denied, the background and history of the request, and the interpretation of the five findings required to approve a variance. Commissioner Whitman asked what the purpose is of the easement area.

Planner Hogan shared that the easement area is open for utilities and drainage. Keinberger noted that the City's Engineering department is happy to consult with residents to offer alternatives, resources, and expertise for any drainage issues.

The Public Hearing opened at 7:06 p.m.

Nick Reitberger - 3574 152nd Street West Rosemount, MN 55068

The applicant, Nick Reitberger elaborated on the circumstances and the background of the installed driveway extension for drainage purposes. Reitberger stated that the concrete helps the water run more swiftly down to the curb and storm drains, in which the applicant has not had any mold issues since the installation.

Robert Bade - 3592 152nd Street West Rosemount, MN 55068

Bade shared that he had no objection to the installed driveway extension and variance request.

Steven Watrud - 9070 97th Ct E Inver Grove Heights, MN 55076

Watrud shared he helped Reitberger install the driveway and supported the purpose of the driveway extension for drainage.

The Public Hearing closed at 7:18 p.m.

Motion by Kenninger Second by Reed

Motion to close the Public Hearing.

Ayes: 7.

Nays: None. Motion Carried.

Motion by Reed Second by Buggi

Motion to adopt a resolution denying a variance from the R1-Low Density Residential Maximum Lot Coverage Standard and Off-Street Parking and Loading Standard to reduce the minimum side yard setback requirement from 5-feet to 0-feet and to increase the maximum lot coverage standard from 30% to 37% for an existing driveway extension to remain on the property at 3574 152nd Street West.

Ayes: 6.

Nays: 1. Motion Carried.

- d. Request by Wayne Transports for approval of a Site Plan Review to construct an addition to an existing office building at 14345 Conley Avenue.

Senior Planner Nemcek presented the Wayne Transports site plan for the Planning Commission to review.

Commissioner Comments

Chair Kenninger and Commissioner Reed both expressed approval of the new addition to Wayne Transports.

The Public Hearing opened at 7:54 p.m.

The Public Hearing closed at 7:54p.m.

Motion by Kenninger Second by Beadner

Motion to close the Public Hearing.

Ayes: 7.

Nays: None. Motion Carried.

Motion by Kenninger Second by Whitman

Motion to approve the Site Plan for a 5,240 square foot addition to the existing office building at 14345 Conley Avenue subject to the following conditions:

1. The applicant or property owner shall apply for and receive all required building permits.
2. Conformance with all requirements of the City Engineer as detailed in the attached Engineer's review memo dated June 12, 2024.

Ayes: 7.

Nays: None. Motion Carried.

- e. Request by My Credit Union for approval of a PUD Final Site and Building Plan and a Conditional Use Permit for drive-through facilities.

Planner Hogan presented the application from My Credit Union requesting approval for a Planned Unit Development (PUD) final site and building plan and a Conditional Use Permit (CUP).

Commissioner Comments

Commissioner Ellis asked for clarification on the minor amendment as a condition of approval and terminology. Commissioners asked about traffic circulation and the stacking spaces for the drive-through. Planner Hogan demonstrated that traffic would be circulating counter-clockwise coming south off of 149th Street into the site. Hogan noted that First State Bank of Rosemount was recently approved to waive the six-stacking spaces minimum to four stacking spaces, similar to the proposal by My Credit Union. Chair Kenninger asked about the exterior building colors and if the applicant had considered reducing the parking further since it greatly exceeds the required standards. Planner Hogan deferred to the applicant.

The Public Hearing opened at 8:09 p.m.

Greg Worthen, My Credit Union President - 9550 Lyndale Ave S Bloomington, MN 55420

Worthen elaborated that parking can be reduced further to increase green space and that the exterior stone is a mix of earth tones versus the stark white the 3D rendering shows.

Josh Longo, HTG Architects - 1010 Mainstreet, Suite 100, Hopkins, MN 55343

Longo addressed the 3D renderings and the exterior appearance of the building materials.

Longo noted that HTG Architects will work closely with City Staff to determine the amount of parking to be provided.

John Debettignies, My Credit Union - 13407 Daffodil Path Rosemount, MN 55068

Debettignies shared that very rarely are the stacking spaces full or backed up, stating that the last time he saw a back-up was during the COVID-19 pandemic in which the main office was closed to visitors. Debettignies noted the third lane will be for an ATM, with the option to

convert it to a third drive-up stall if needed in the future.

The Public Hearing closed at 8:19 p.m.

Motion by Kenninger Second by Reed

Motion to close the Public Hearing.

Ayes: 7.

Nays: None. Motion Carried.

Motion by Kenninger Second by Beadner

Motion to approve the Planned Unit Development Final Site and Building Plan for My Credit Union to construct a financial institution, subject to the following conditions.

1. Approval of a Conditional Use Permit for drive-through facilities.
2. Recording of the Rosewood Commons 3rd Addition Plat with Dakota County prior to the issuance of a building permit.
3. The applicant shall update the landscape plan to provide the required amount of parking lot landscaping.
4. Applicant shall work with staff to verify lumens identified on the photometric plan do not exceed 1.0 lumens at non-residential property lines.
5. Non-essential lighting shall be turned off after business hours.
6. Payment of \$16,920 in lieu of park land dedication, to be collected with the building permit fee.
7. Compliance with all comments and requirements of the City's engineer detailed in the Engineer's Memo dated June 12, 2024.

Ayes: 7.

Nays: None. Motion Carried.

Motion by Kenninger Second by Buggi

Motion to recommend the City Council approve a Conditional Use Permit allowing drive-through facilities for My Credit Union, subject to the following conditions:

1. Approval by the City Council of a minor amendment to the Rosewood Commons PUD reducing the minimum stacking spaces from 6 per drive-through lane to 4.
2. Public address systems and ordering speakers shall not be audible at the property lines.

Ayes: 7.

Nays: None. Motion Carried.

NEW BUSINESS

None.

DISCUSSION

ADJOURNMENT

There being no further business to come before the Planning Commission at the regular

meeting, the meeting was adjourned at 8:22 p.m.

Respectfully submitted,

Alysha Grant
Community Development Technician

Planning Commission Regular Meeting: July 23, 2024

Tentative City Council Meeting: August 20, 2024

AGENDA ITEM: Request by KJ Walk for approval of a PUD Final Site and Building Plan and a Major Amendment to the Rosewood Commons Planned Unit Development Agreement to allow for the construction of two commercial buildings with outdoor dining and a drive-through facility.	AGENDA SECTION: PUBLIC HEARINGS
PREPARED BY: Julia Hogan, Planner	AGENDA NO. 6.a.
ATTACHMENTS: Site Location , Site Plan, Grading Plan, Landscape Plan, Trash Encloser, Lighting Plan, Architectural Elevations	APPROVED BY: AK, AN

RECOMMENDED ACTION:

Motion to approve the Planned Unit Development Final Site and Building Plan to allow for the construction of two commercial buildings with outdoor dining and a drive-through facility at 14904 Business Parkway and 2730 149th Street West, subject to the following conditions.

- a. Approval of an amendment to the Rosewood Commons Planned Unit Development Agreement.
- b. The trash enclosure plans shall be updated to feature exterior materials that match the principal structures.
- c. The landscape plan shall be updated to replace ash trees with another species.
- d. The applicant shall apply for a sign permit for any site signage.
- e. Payment of \$15,480 in lieu of park land dedication.
- f. Payment of any area charges that were not collected as part of the subdivision agreement.
- g. Conformance with all the required standards associated with outdoor dining and drive-through facilities.
- h. No public address system shall be audible from adjacent non-commercial property boundaries.

Motion to recommend the City Council approve a Major Amendment to the Rosewood Commons Planned Unit Development Agreement, subject to:

- a. A deviation from Section 11-7-6: Landscaping, Screening, and Buffering Standards to remove the requirement that the number of trees required as part of parking lot landscaping be in addition to the number of trees required based on site area.
- b. A deviation from Section 11-7-3: Off-Street Parking and Loading Standards to allow for the reduction in the minimum setback requirement for parking from a private road from 10-feet to 0-feet.

- c. A deviation from Section 11-7-2: Architectural Standards to allow up to 18.5% EIFS so long as the remaining non-glass areas contain at least 80% brick or stone.

BACKGROUND

SUMMARY

Applicant:	KJ Walk, Inc.
Property Owner:	KJ Walk, Inc.
Site Location:	14904 Business Parkway and 2730 149th Street West (NW of Business Parkway and CSAH 42)
Site Area in Acres:	Approximately 1.72 Acres
Current Zoning:	MX-2 PUD - Highway Mixed Use Planned Unit Development
Comp Plan Designation:	CC - Community Commercial

The applicant, KJ Walk is seeking approval of requests to construct two commercial buildings in the northwest quadrant of the intersection of Business Parkway and CSAH 42. The parcels on which the buildings would be constructed are part of the Rosewood Commons Planned Unit Development. One of the buildings will be a standalone restaurant, while the other will be a multi-tenant retail building with a drive-through facility serving a fast-food or fast-casual restaurant. The applicant is seeking deviations from the code related to exterior materials, to allow parking lot landscaping to count toward the total landscaping requirement, and a reduction in the setback requirement for parking from a private drive. Staff is recommending approval of the requests, subject to the conditions listed in the recommended action.

BACKGROUND

The City Council approved the Rosewood Commons Planned Unit Development in 2020. That approval covered the construction of six apartment buildings (two of which would have commercial space on the ground floor) and a hotel. The apartment buildings required a comprehensive plan amendment and rezoning from commercial uses to residential. The applicant also requested approval to construct a memory care facility east of Business Parkway, but that portion of their request was denied to maintain that parcel's commercial land use designation and zoning. That parcel is now the site of the New Horizon Academy, and the applicant received approval to replace the hotel component of the PUD with a memory care facility, which is now complete. The subject property the applicant is requesting approvals for was once contained in an outlot with the understanding that any development of the site would require approval of a major amendment to the Rosewood Commons PUD as well as any necessary platting.

In January 2023, the subject property was platted into two parcels along with an approval by the City Council of a PUD amendment to allow for parcels that do not meet the minimum width required by the zoning ordinance. This deviation was permitted based on the fact that the two parcels would be part of a larger overall commercial development containing shared drive aisles and parking areas. The applicant came forward with this same request back in July 2023, but ultimately withdrew the request prior to the July 25, 2023, Planning Commission meeting. They are now seeking approval of the same

requests that were applied for in 2023.

ISSUE ANALYSIS

Legal Authority

Final site and building plan reviews are *quasi-judicial* actions. In such cases, the City is acting as a judge to determine if the regulations within the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance, and Planned Unit Development Agreements are being followed. Generally, if the application meets these requirements, it must be approved.

Major Planned Unit Development Amendments are *legislative* decisions because the City is formulating public policy, which in this case is related to the proposed deviations from the zoning ordinance.

Site Plan Review

The proposed site development plans incorporate the sharing of parking and access between the two commercial buildings; therefore, the staff review comments associated with these two parcels are incorporated into one section.

Land Use and Zoning

The site is guided for CC-Community Commercial uses in the City's comprehensive land use plan, and it is within the MX-2 Highway Mixed Use zoning district. The site also is covered by the Rosewood Commons PUD overlay district. Any deviations that were approved with the initial phase of development within the PUD are only permitted within that initial development area. Likewise, the proposed deviations currently being reviewed only apply to the subject parcels being reviewed with these requests.

The proposed buildings and their anticipated uses are allowed by the zoning ordinance and are consistent with the comprehensive plan. The outdoor dining area and drive-through facility are permitted with standards within the MX-2 zoning district. A thorough review of those standards is provided later in this report.

Building Setbacks

Frontage	Required Setback		Provided Setback	
	Building	Parking	Building	Parking
North (149 th Street West)	30 feet	10 feet	63	0
East (Business Parkway)	10 feet	10 feet	33.27	14.58
South (CSAH 42)	10+20 feet	10 feet	63.34 feet	13.37 feet
West (Lot 5, Block 1, Rosewood Commons 3 rd Addition)	10 feet	10 feet	35.50	n/a

The applicant is requesting, as part of their submittal, elimination of the setback requirement related to parking on properties adjacent to a private driveway easement. Staff is supportive of this request as the site development plans include a 6' pedestrian facility between the private drive along the north

side of the property and the parking area. The area to the north is part of the Rosewood Commons development. Staff would be less supportive if the area to the north of the site was a separate project or an incompatible use. The site plans show the development meeting all other setback requirements, including the additional setback requirement along the south side of the property due to its location along an arterial road.

Exterior Materials

The applicant has provided exterior elevations that include a breakdown in the percentage of each material. The zoning ordinance requires at least 50% of the building be finished with brick or stone and no more than 10% EIFS. The applicant is requesting the ability to include up to 18.5% EIFS in exchange for including stone and brick beyond that required by the zoning ordinance. The applicant's plans show that 81.8% of the non-glass areas are brick or stone on the eastern building. The non-glass areas of the western building contain 80.9% brick or stone. Staff is supportive of this request since the EIFS is limited to accent areas and the overall result is building elevations primarily consisting of brick or stone when the applicant could have identified other materials for use that would result in less brick or stone on the elevations.

Parking and Access

The site plan provided by the applicant shows a total of 102 parking spaces on the site. The applicant estimated parking requirements based on the anticipated number of seats in the restaurant areas and the square footage of the retail/office portion of the multi-tenant building. The code requires 1 stall per 300 square feet of gross floor area for both standalone retail or service business use and for business or professional office use. The code also requires 1 stall per 4 persons of the maximum occupancy for restaurant use. The applicant's original site plan provided 105 parking stalls for the area, but following the direction of staff to relocate a trash enclosure and add an additional enclosure, as well as to provide an additional parking lot island to accommodate more landscaping, the total number of parking stalls was reduced by three.

Use	Parking required
Restaurant (218 total seats @ 1 stall per 4 persons)	55 stalls
Retail (1,900 sf @ 1 stall per 300 sf)	7 stalls
Office (3,800 sf @ 1 stall per 300 sf)	13 stalls
Total Required	75 stalls
Total Provided	102 stalls

Vehicular access into the site will be made from the private roadway located immediately north of the site. The site is also bound by sidewalks on the north and east sides. The City's fire marshal requested and received an exhibit showing the turning radius of emergency apparatus within the site and has found that the site layout is able to accommodate emergency vehicles.

Landscaping

The applicant has provided a landscape plan with their submittal that generally meets the requirements of the City's zoning ordinance based on the size of the subject property. The City Code requires one tree per 3,000 square feet of site area, which in this case results in a requirement of 25

trees. There is an additional requirement related to the landscaping of the parking areas. The code requires landscaping around the parking lot equal to 10% of the total parking area, which in turn must contain one tree per 250 square feet of parking lot landscaping. This tree requirement is in addition to that required, based on the size of the site. Therefore, the total number of trees required on site is 43. Staff has worked with the applicant to update their plan to provide more parking lot landscaping, which now meets the code requirement, and to identify where more trees might be placed to get closer to the total tree requirement of 42 trees. A shortfall still exists, and staff is recommending a deviation that does not require the parking lot landscaping to be calculated in addition to that required based on site area.

The City Code also requires foundation plantings or shrubbery in an amount based on the total linear feet of building perimeter. Based on the size of the buildings, a total of 65 shrubs is required. The applicant has provided a total of 193 foundation plantings. These plantings are placed along the sides of the property that abut public rights of way and around the outdoor dining area associated with the restaurant in the western building.

The following table lays out the landscaping requirements for the site.

	Calculation Formula	Number Required	Number Provided
Site Trees	1 per 3,000 sf	$74,923/3,000=25$ trees	25 trees
Parking Lot Trees	1 per 250 sf	$4311/250=18$ trees	7 trees
Foundation Plantings	1 per 10 linear feet	$644/10=65$ foundation plants	193 foundation plants

Staff is also including a recommended condition that the applicant updates the final landscape plan to replace the trees identified as ash trees with another species due to the impact of the emerald ash borer on existing tree populations in the region.

Utilities

The site’s sewer and water will connect to the system at stubs to mains located within the private street immediately north of the site. Stormwater will enter the City’s system at a point to the east. The overall system within the Rosewood Commons PUD area was reviewed as part of the initial approval, and the development proposed for the subject parcels is consistent with what was anticipated for the site at that time. Therefore, no changes to the stormwater management infrastructure within the PUD area are needed.

Parks and Open Space

In review of the City’s Parks Master Plan, no parks are identified in the subject property, therefore staff is recommending the City collect cash-in-lieu of park dedication. The City Code requires 10% of the development area be dedicated for parks and open space, which equals .172 acres. Based on the City’s 2024 fee list, at \$90,000 per acre the dedication fee-in-lieu is \$15,480. Because the parcels are already platted, and the developer has asked to pay the fee with the building permit, the exact amount per building will be calculated and collected based on the individual parcel area.

Site Lighting

The site lighting will consist of 8’ high wall-mounted lights and 20’ high pole-mounted lights. These are both within the maximum height for site lighting. The applicant also provided a photometric plan that

shows the lighting at the boundaries of adjacent parcels falls below the maximum lumen allowed.

Trash Enclosure

The applicant's plans show two trash enclosures constructed of materials that complement the principal structures. Staff worked with the applicant to adjust the site plan to ensure there are no conflicts with traffic movements in the site, particularly related to the drive-through facility.

Standards – Outdoor Dining Area Containing Seating for Eleven or More

Outdoor dining is an accessory use that is permitted with standards in the MX-2 Highway Mixed Use zoning district. The proposed use must comply with the specific performance standards for outdoor dining which is outlined in Section 11-6-8.A. of the City Code. These standards evaluate the city's land use and zoning performance standards and the potential impact of the proposed use on the surrounding neighborhood. These standards and staff findings for each are provided below.

1. The site and enclosure(s) shall be designed to limit the effects of outdoor seating or dining areas on contiguous properties and/or public rights of way.

Findings: The area will be located approximately 450' from the nearest residence. The applicant's plan calls for the outdoor dining areas to include foundation plantings along its perimeter. The distance and landscape design will limit the effects of the areas on contiguous properties and the public right-of-way.

2. The seating area shall be located on private property along the front, side or rear of the principal building but shall not be located within a required setback or on the side abutting any residential use or district.

Findings: The proposed outdoor seating area will be located along the south side of the building and beyond the required 30' minimum setback standard.

3. The seating area shall not interfere with circulation in any required parking, loading, maneuvering or pedestrian area. A minimum four foot (4') passageway shall be maintained along the private sidewalk for pedestrians.

Findings: The plan provided by the applicant shows a continuous sidewalk along all sides of the building and outside the outdoor dining area.

4. No public address system shall be audible from a noncommercial or nonindustrial use or district.

Finding: A condition of this approval will note that no public address system shall be audible from any residential use or district.

5. The seating area shall be located in a controlled or cordoned area acceptable to the city with at least one opening to an acceptable pedestrian walk.

Findings: The applicant's plan shows a contiguous area delineated by landscaping. If a fence is desired, staff will review the plans during the standards permit review process to ensure an opening to the sidewalk is provided.

6. When a liquor license is granted, an uninterrupted enclosure is required and the enclosure shall only have access through the principal building.

Findings: If a liquor license is requested by the future user of the site, compliance requires the

presence of a continuous enclosure. Staff is recommending a condition of approval that reiterates that a fence is required in order for the site to receive a liquor license.

7. The seating area shall not be permitted within two hundred feet (200') of any residential use or district as measured at the property line and shall be separated from residential use or district by the principal structure or other method of screening acceptable to the city. The minimum distance from a residential use or district may be reduced should the city determine the applicant has added sufficient elements to reduce the impact of this use.

Findings: The outdoor dining area will be located greater than 200' from both the R1 district northeast of the site and the mixed-use area immediately north of the site. It is screened from those areas by the building itself.

Standards – Drive-Through Facility

Drive-through facilities are an accessory use that is permitted with standards in the MX-2 Highway Mixed Use zoning district. The proposed use must comply with the specific performance standards for drive-through facilities which are outlined in Section 11-6-7.H. of the City Code. These standards evaluate the city's land use and zoning performance standards and the potential impact of the proposed use on the surrounding neighborhood. These standards and staff findings for each are provided below.

1. The site and building(s) shall be designed to limit the effects of the drive-through, including noises, emissions, and headlight glare, on adjacent properties and public rights of way.

Finding: The stacking lanes, order boards and drive-through windows are configured to limit their impact on adjacent properties and public rights-of-way.

2. No use with a drive-through window shall be located abutting any residential use or district.

Finding: The drive-through window will face Business Parkway and is immediately across from another commercial district and use.

3. Stacking lanes shall not interfere with circulation through any required parking, loading, maneuvering or pedestrian area.

Finding: The stacking lanes of the drive through are located along the eastern side of the building. Parking for the site is located south, west, and north of the building, and therefore there is no interference between drive-through stacking and the parking area.

4. Stacking and exiting areas shall be screened from adjacent properties and/or rights-of-way. Stacking areas shall have a minimum 90% opacity screen to a height of six feet while exiting areas shall have a minimum 50% opacity screen to a height of at least four feet

- 1. The principal structure shall be the primary source for screening the drive-through facility and stacking and exiting areas from adjacent properties and/or rights of way.***
- 2. Landscaping and berming shall be a secondary source for screening drive-through, stacking or exiting areas. Should landscaping and berming be found ineffective by the city, the city may approve screening walls and/or decorative fencing as an alternative.***
- 3. Screening walls shall be constructed of the same materials as the principal structure and shall not extend more than 25 feet without change in architecture to reduce their mass and***

appearance.

Finding: Screening is provided by landscaping along the eastern and southern property lines and by the principal structure from the west.

5. Drive-through facilities shall have a minimum six (6) stacking spaces per drive-through window. Fast food uses operating more than one window per individual drive aisle shall meet the stacking requirements for a single drive-through facility. Each space shall be a minimum of nine feet (9') wide by eighteen feet (18') long.

Finding: The plans provided by the applicant indicate at least ten stacking spaces that are 20' long and 14' wide, which exceeds the dimensional requirements of the City Code.

6. No public address system shall be audible from a noncommercial or nonindustrial use or district.

Finding: Staff has prepared a condition stating that public address or ordering speakers shall not be audible from the boundaries of adjacent residential parcels.

7. Fast food uses may display menu boards as follows:

- 1. The menu board(s) not encroach into any parking setback and shall be located directly adjacent to the drive-through aisle and oriented in such a manner that the sign provides information to the drive-through patrons only and does not provide supplemental advertising to pass-by traffic and does not impair visibility or obstruct circulation.***
- 2. Individual menu board(s) shall be single sided with an area not to exceed 32 square feet including both sign copy and sign cabinet.***
- 3. The height of the menu board(s) shall not exceed eight feet including its base or pole measured from grade to the top of the structure.***

Finding: The actual design of the menu boards has not been provided. Staff has prepared a condition that requires conformance with the above menu board standards.

RECOMMENDATION

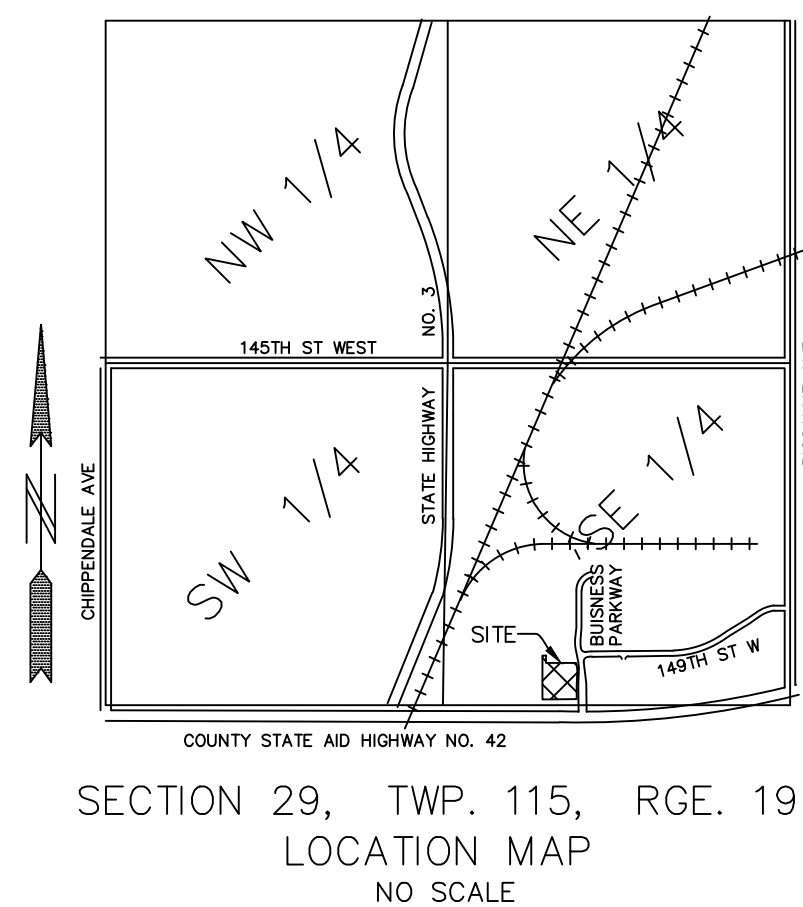
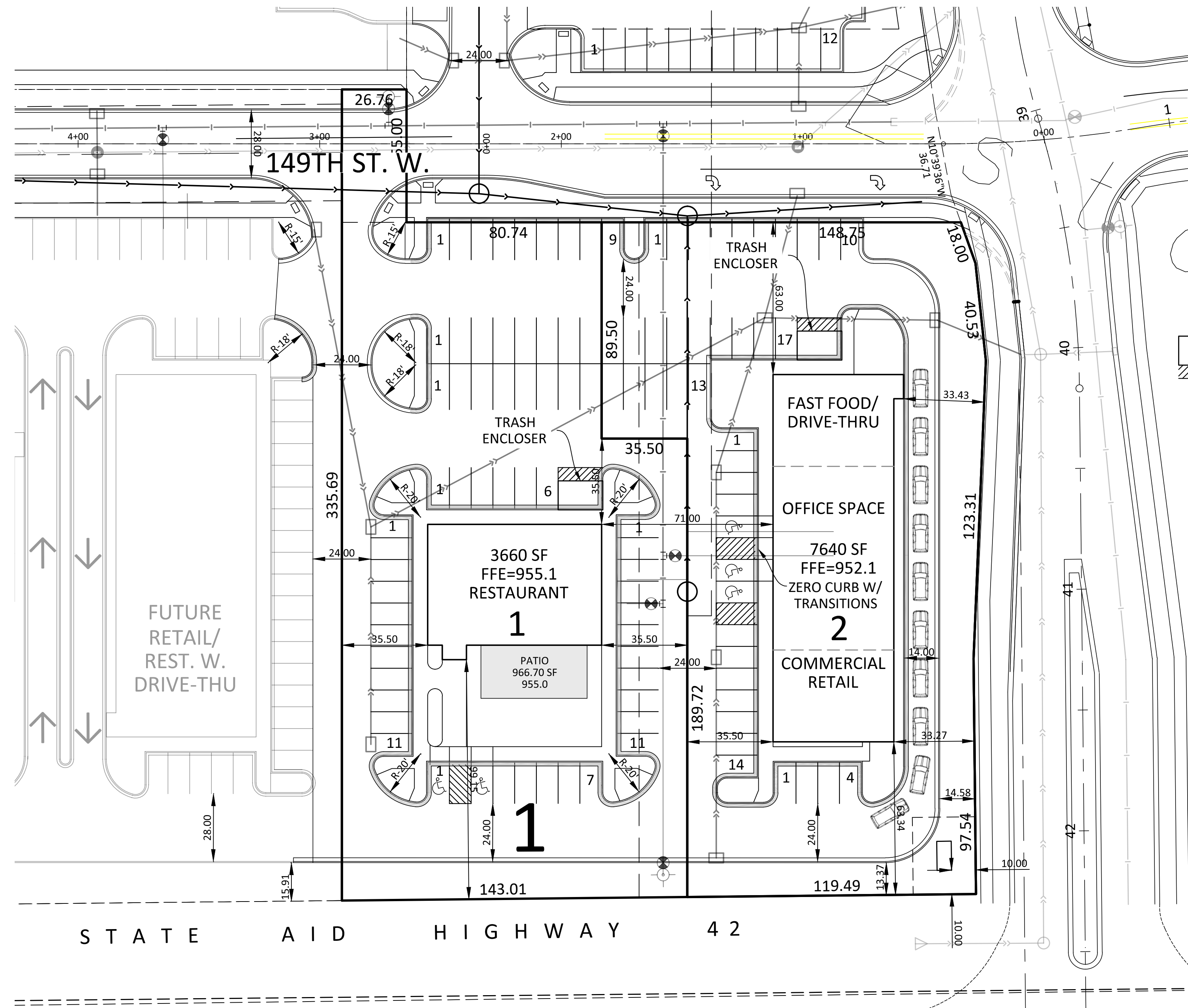
Staff has reviewed the plans submitted by the applicant and worked with the applicant to make improvements where possible, such as to the landscaping plan and to update the location of the trash enclosures. Staff finds that the proposed deviations result in a quality development that is in line with the City's goals contained in the comprehensive plan and the intent of the zoning ordinance. Staff is recommending approval of the requests subject to conditions.



ROSEWOOD COMMONS SECOND ADDITION

Rosewood Commons				
Use and Parking Requirements				
Lot/Block	USE	UNITS / AREA	# of Seats 1/30 Total Floor Area	REQUIRED PARKING
Lot 1 Blk 1	Restaurant	3,660 Sq Ft	122	41
Lot 1 Blk 1	Patio	967 Sq Ft	32	11
Lot 2 Blk 1	Restaurant	1,940 Sq Ft	64	22
Lot 2 Blk 1	Retail	1,900 Sq Ft	6 per 1000 Sq Ft	12
Lot 2 Blk 1	Office	3,800 Sq Ft	5 per 1000 Sq Ft	19
Total Required				105
Total Provided				102

Surface materials for the streets/parking, sidewalks and driveways will be a combination of blacktop, concrete and stamped concrete.



Impervious vs Pervious		
Area	Sq Ft	Percent
Total Area	74,963	
Building Foot Print	11,200	14.94%
Green Space	13,355	17.82%
Parking	43,108	57.50%
Sidewalks	7,300	9.74%

SHEET INDEX

- | | |
|---|-----------------------------|
| 1 | Cover and Site Plan |
| 2 | Grading and Erosion Control |
| 3 | SWPPP |
| 4 | Landscape Plan |

DEVELOPER/ENGINEER/BUILDER

KJ Walk, Inc.	Luke Israelson
6001 Egan Drive, Ste 100	952.826.9068
Savage, MN 55378	

Legal Description:
Lot 1 and 2, Block 1, Rosewood Commons Second Addition,
Dakota County, Minnesota.

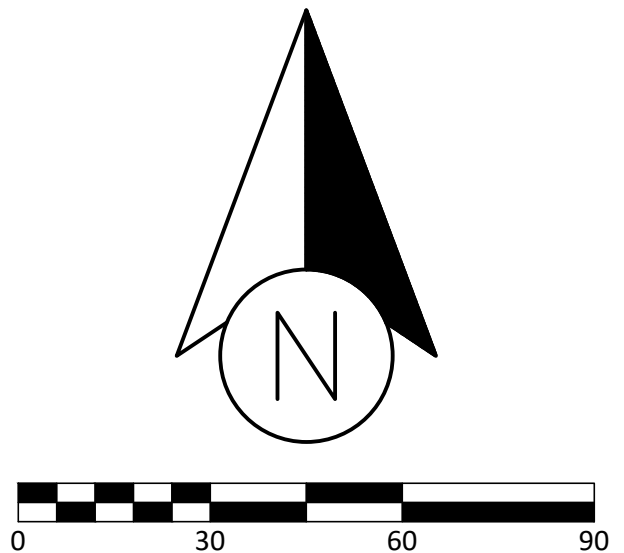
BENCHMARK

T.N.H AT 149TH ST W AND
BUSINESS PARKWAY - ELEV. 949.75

DATUM: NAD83

Legend

- | | |
|--|-----------------------------|
| | Existing watermain |
| | Proposed watermain |
| | Existing sanitary |
| | Proposed sanitary |
| | Existing storm |
| | Proposed storm |
| | Existing hydrant |
| | Proposed hydrant |
| | Existing gate valve |
| | Proposed gate valve |
| | Existing manhole |
| | Proposed manhole |
| | Proposed catchbasin |
| | Silt fence |
| | Inlet protectors |
| | Parking lot lights |
| | Building Lights |
| | Rip Rap |
| | Drainage Arrow |
| | Spot Elevation |
| | Back of Curb Spot Elevation |



6001 Egan Drive, Ste 100, Savage, MN 55378
Phone: 952.226.3200 Web: www.kjwalk.com

I hereby certify that this plan was prepared by me,
or under my direct supervision, and that I am a
duly registered engineer under the laws of the
State of Minnesota.



Luke Warren Israelson
Registration #: 51362
Date: 6/29/2023

Luke Warren Israelson Registration #: 51362		Date: 6/29/2023
Date:	Revision:	
05/15/2023	Original	
05/31/2023	Revised	
06/09/2023	Revised	
06/29/2023	Revised	

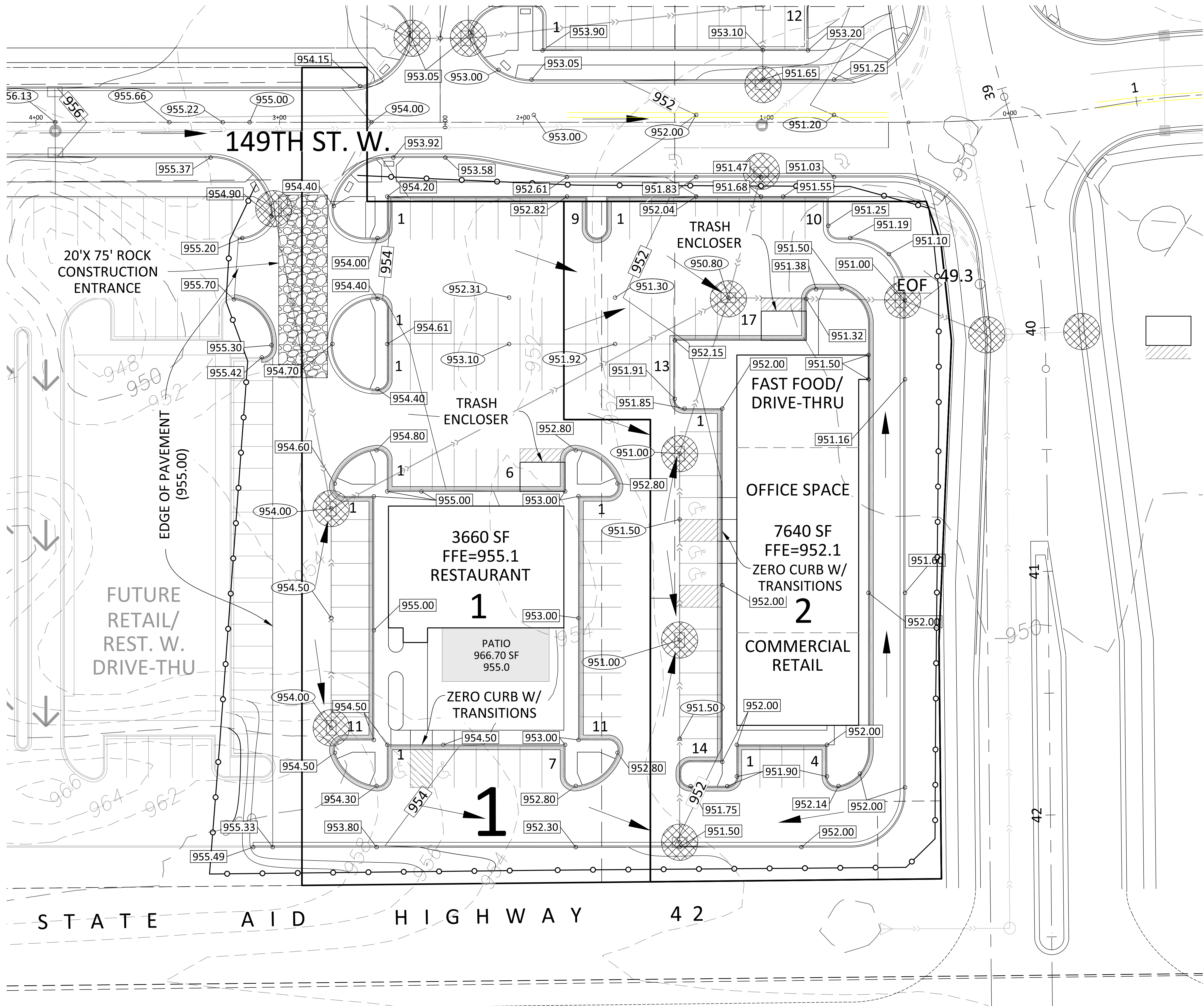
ROSEWOOD COMMONS
SECOND ADDITION
ROSEMOUNT, MN



For Review
June 29, 2023

Cover-Site Plan

SHEET 1 of 4



- LEGEND**
- SILT FENCE
 - INLET PROTECTORS
 - DRAINAGE ARROW
 - SPOT ELEVATION
 - BACK OF CURB SPOT ELEVATION

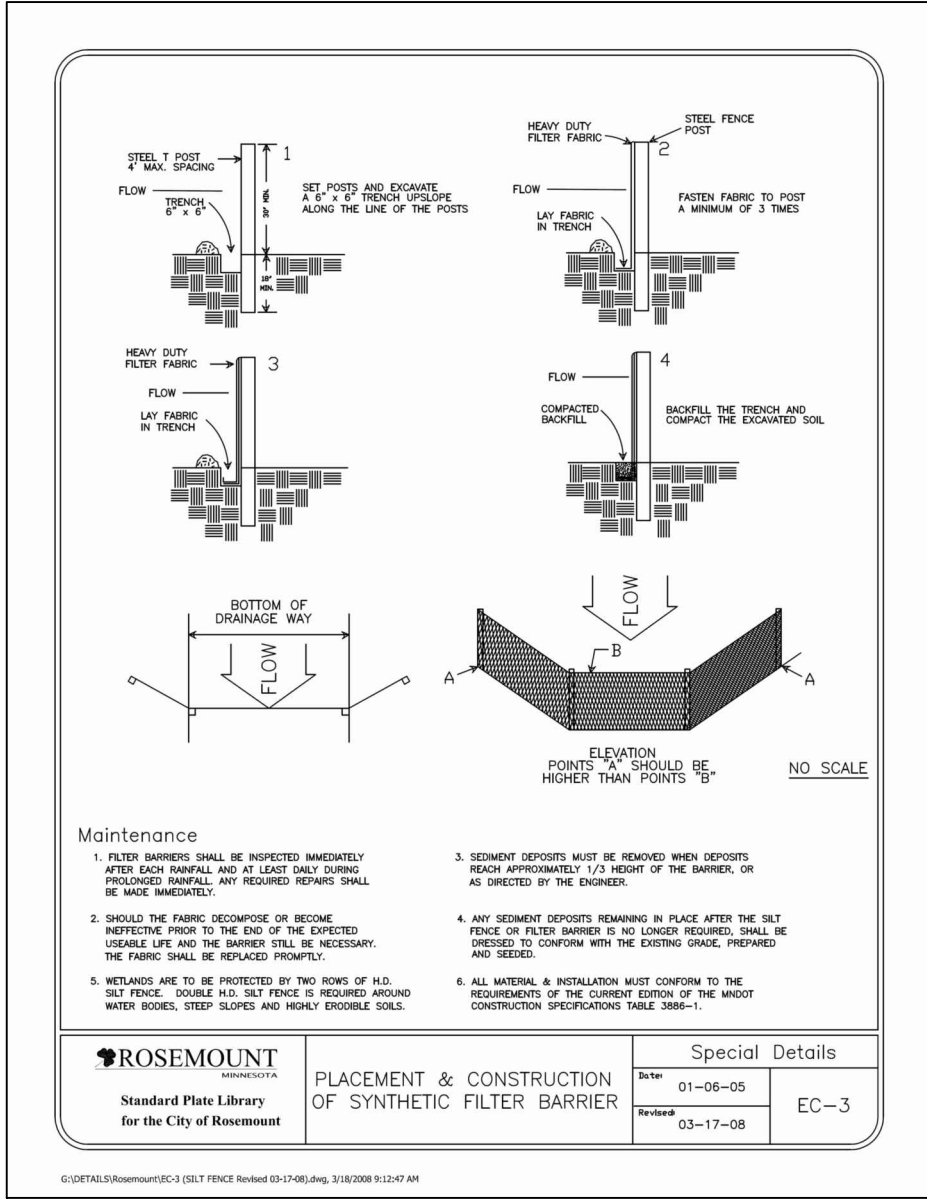
NOTES:

DISTURBED AREAS TO BE TEMPORARY SEEDDED AND MULCHED WITHIN 14 DAYS OF STOPPAGE OF WORK.

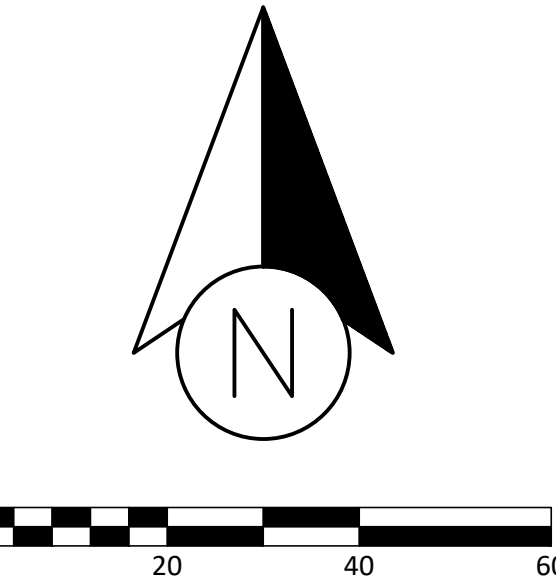
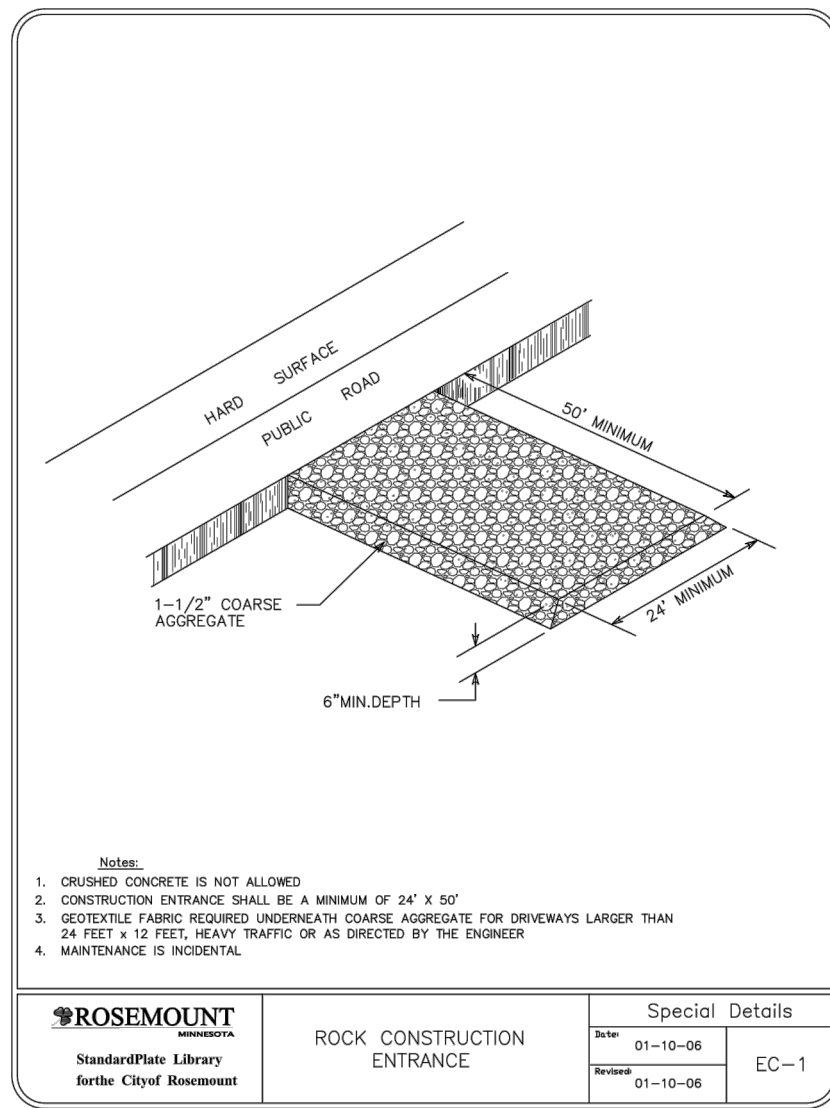
PERMANENT COVER TO BE INSTALLED WITHIN 14 DAYS OF FINAL GRADE BEING ESTABLISHED.

TEMPORARY SEEDING AND PERMANENT SEEDING IN UNDEVELOPED AREAS TO BE EROSION CONTROL MIX

FINISH SEED/SOD TO BE BLUEGRASS AND/OR FESCUES.



Silt Fence to be installed along perimeter of construction area prior to the start of work.





6001 Egan Drive, Ste 100, Savage, MN 55378
Phone: 952.226.3200 Web: www.kjwalk.com

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly registered engineer under the laws of the State of Minnesota.

LUKE WARREN ISRAELSON

Luke Warren Israelson
Registration #: 51362 Date: 6/29/2023

Date:	Revised:
05/15/2023	Original
05/31/2023	Revised
06/09/2023	Revised
06/29/2023	Revised

ROSEWOOD COMMONS
SECOND ADDITION
ROSEMOUNT, MN



For Review
June 29, 2023
Site Plan- Grading and
Erosion Control Plan

SWPPP (STORM WATER POLLUTION PREVENTION PLAN)

GENERAL PROJECT INFORMATION:

RESPONSIBLE PARTIES:

The Contractor and Owner must apply for coverage under the MPCA's General Storm Water Permit for Construction Activity as required by the National Pollutant Discharge Elimination System (NPDES) Phase II program. Coverage under the permit will begin automatically 7 calendar days after the postmarked date on the permit application. [Longer time frames apply to sites that: (1) disturb areas greater than 50 acres AND discharge within 1 mile of a Special or Impaired Water; or (2) Use alternative storm water treatment techniques].

Owner:	KJ Walk, Inc.	Luke Israelson	<952.226.3200>
		Contact Person	Phone
SWPPP Preparer:	KJ Walk, Inc.	Luke Israelson	<952.226.3200>
		Contact Person	Phone
Contractor:	KJ Walk, Inc.	Luke Israelson	<952.226.3200>
		Contact Person	Phone
Person Responsible For Inspections:	KJ Walk, Inc.	Luke Israelson	<952.226.3200>
		Contact Person	Phone
Party Responsible for Long Term O&M of Permanent Storm Water Management Facility:	City of Rosemount		
		Contact Person	Phone

PROJECT LOCATION:

County, State	Township	Range	Section(s)	Latitude	Longitude
Dakota, MN	115	19	29		

PROJECT DESCRIPTION:

This project includes disturbance of approximately 8.6 acres. Construction activities include Stripping of topsoil and stock piling of material.

Soils on the site are primarily of Hydrologic Soil Group Type A, with high infiltration capacity.

Planned Construction Start Date: 08/01/2023
Estimated Construction Completion Date: 12/01/2024

PROJECT AREAS:

Total Project Size (disturbed area) = 1.72 AC
Existing area of impervious surface = 0.03 AC
Post construction area of impervious surface = 1.45 AC
Total new impervious surface area created = 1.42 AC

STORM WATER MANAGEMENT:

Type of storm water management used if more than 1 acre of new impervious surface is created:

Wet sedimentation basin ☒ Regional pond ☐ Alternative methods ☐
Infiltration ☐ Permanent storm water management not required ☐
Filtration ☐

Required Water Quality Volume: 0.12 ACRE FT
Design Water Quality Volume: 6.598 AF
Elevation of Water Quality Volume Storage: 937.90
Surface Area at Water Quality Volume Storage: N/A
Allowable Discharge of Water Quality Volume: N/A
Designed Discharge for Water Quality Volume: N/A
Required Infiltration Volume: 0.12 ACRE FT
Designed Infiltration Volume: 7.59 ACRE FT

RECEIVING WATERS:

Surface waters which will receive storm water from the site within 1 mile of project boundary. Include waters shown on USGS 7.5 minute quad and all waters identified in Appendix A of the permit.

Name of Water Body	Type (ditch, pond, wetland, lake, etc.)	Appendix A Special Water?	Flows to Impaired Water within 1 mile?	USEPA Approved TMDL?

Impairment: _____

CONSTRUCTION ACTIVITY NOTES:

EROSION PREVENTION PRACTICES:

Phased construction will be used to extent practical or as indicated in the plans to minimize exposed soils.

Areas not to be disturbed shall be delineated with flags, stakes, signs, silt fence, etc. prior to work beginning. The normal wetted perimeter of all ditches or swales, including storm water management pond slopes, that drain waters from the site must be stabilized within 200' of any property edge or discharge point, including storm sewer inlets, within 24 hours of connection.

Energy dissipation or other outlet treatment must be installed within 24 hours of connection.

All exposed soils must be stabilized as soon as possible but in no case later than 7 days after the construction activity has temporarily or permanently ceased.

Seed and/or sod, fertilizer, and mulch shall be placed as indicated in the plans and project specifications.

Rapid stabilization shall be of type and quantity indicated in the project specifications. Additional rapid stabilization may be necessary to minimize erosion throughout the duration of the project. Type and quantity shall be determined by the engineer or inspector prior to installation.

If the Contractor stockpiles material on site, he shall install the appropriate erosion control devices around the stockpile and perform the best management practices possible to avoid erosion from the stockpile.

Temporary (or permanent) sedimentation ponds are required for areas > 10 acres of disturbed soils draining to one point.

SEDIMENT CONTROL PRACTICES:

Installation of silt fence and all other down gradient sediment protection measures shall be completed prior to commencement of upstream land disturbing activities.

Silt fence shall be installed along constant contours with continuous lengths not to exceed 600 feet. As indicated on plans, silt fence will be periodically broken and hooked upslope in "J-hook" or "smile" patterns to provide ponding and slow runoff.

No unbroken slope lengths greater than 75 feet are permitted when slope is 3:1 or greater. Slope shall be broken with silt fence or biorolls as indicated on plans.

BMP	QUANTITY
Silt Fence	1100 LF
Rock Constrution Entrance	1 Each
Temporary Seed And Mulch	0.58 ACRES
Inlet Protectors	14

Vehicle tracking to be minimized to all practical extents. All eroded material that leaves the construction zone shall be collected by the contractor and returned to the site at the contractor's expense.

All stock piles shall be surrounded by silt fence and seeded with temporary seed and mulch. See erosion and sediment control plans.

All site storm sewer inlets, as well as off site downstream inlets with potential to receive sediment, shall be protected with approved inlet protection measures at all times. Inlets shall remain protected until site is 100% stabilized and vegetation is at least 70% established. Inlet protection may be removed in winter, if the project has an approval letter from jurisdictional authority or can produce it within 72 hours.

TEMPORARY SEDIMENTATION BASINS & DEWATERING:

Temporary sedimentation basins are required prior to runoff leaving the construction site or entering surface waters when 10 or more acres of disturbed soils drain to a common location. The basin must provide 3,600 cubic feet of storage below the outlet per acre drained. If hydraulic calculations are available, the temporary sedimentation basin must provide a storage volume equivalent to the 2-year, 24-hour storm, but in no case less than 1800 cubic feet per acre drained. The temporary sedimentation basin must be constructed and made operational concurrent with the start of soil disturbanace upgradient of the pond.

All dewatering on site during construction must be routed to temporary sedimentation basins.

Temporary sedimentation basins must be drained within 48 hours of any rainfall event. If the rock filtered outlets plug or cause the pond not to drain within 48 hours, ponds are to be drained with pumps. Pump inlets should be protected with a geotextile membrane and rock filter setup as shown in the details, or an approved alternative. Excessive sediment-laden water that is not properly filtered will not be permitted to discharge from site.

Dewatering practices cannot cause downstream nuisance conditions, erosion, or non-permitted wetland inundation causing adverse impacts.

POLLUTION PREVENTION:

All solid waste collected from the construction site must be disposed of in accordance with MPCA disposal requirements.

Concrete washout must be contained in a dedicated area surrounded by silt fence with proper signage

All hazardous materials (e.g., oil, gasoline, fuel, antifreeze, paint, cleaning solvents, curing compounds, fertilizers, etc.) must be properly stored (including secondary containment when necessary) to prevent spills, leaks, or other discharge. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.

External washing areas must be limited to a defined area of the site. All runoff containing any hazardous material must be properly collected and disposed of. Defined area must be contained with heavy- or super-duty silt fence. NO ENGINE DEGREASING ALLOWED ON SITE.

The contractor is responsible for monitoring air pollution and ensuring it does not exceed levels set by local, state, or federal regulations. This includes dust created by work being performed on the site. Air pollution and dust control correction is considered incidental to the unit bid prices for which work is being performed. Additional dust control measures may be required by the Engineer.

INSPECTION & MAINTENANCE:

The permittees must routinely inspect the construction site once every seven (7) days during active construction and within 24 hours of a rainfall event greater than 0.5 inches in a 24 hour period.

All inspections performed during construction must be recorded and records retained on site with the SWPPP in accordance with the storm water permit. Records must include a site map showing areas of land disturbing activities and areas where activities have temporarily or permanently ceased.

Silt fence, biorolls and inlet protection devices must be maintained when non-functional or when accumulated sediment reaches 1/3 of device height.

Off site vehicle tracking to be removed within 24 hours of occurrence and the streets must be cleared of debris at the end of each day.

All non-functional BMPs must be repaired, replaced, or supplemented with functional BMPs within 24 hours of discovery, or as soon as field conditions allow access.

FINAL STABILIZATION:

The permittees must submit a Notice of Termination (N.O.T.) within 30 days of final stabilization or transferring permit responsibility to another owner or operator.

The Contractor must ensure final stabilization of the site. Final stabilization shall include a minimum of 70% vegetation establishment (100% stabilized) on all pervious areas.

All temporary erosion control measures and BMPs must be removed as part of the final site stabilization, unless directed otherwise by owner or engineer.

IMPLEMENTATION SCHEDULE & PHASING:

- 1) Install silt fence
- 2) Install rock construction entrances
- 3) Mass grading
- 4) Install utilities
- 5) Streets/Parking
- 6) Small utilities
- 7) Final stabilization(Finish seed/sod to be Bluegrass and/or Fescues)
- 8) Remove BMPs

RECORD RETENTION:

The SWPPP, all changes to it, and inspections and maintenance records must be kept at the site during construction. All owner(s) must retain the following for 3 years after submittal of NOT:

- 1) SWPPP;
- 2) Any other permits required for the project;
- 3) Inspection and maintenance logs;
- 4) All permanent operation and maintenance agreements for surface water facilities;
- 5) All design calculations for temporary and permanent storm water management.

PLAN SHEETS:

Sheet number 2 and 3 of this plan set is also considered a part of the SWPPP for this project.



6001 Egan Drive, Ste 100, Savage, MN 55378
Phone: 952.226.3200 Web: www.kjwalk.com

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly registered engineer under the laws of the State of Minnesota.


Luke Warren Israelson
Registration #: 51362 Date: 6/29/2023

Date:	Revision:
05/15/2023	Original
05/31/2023	Revised
06/09/2023	Revised
06/29/2023	Revised

ROSEWOOD COMMONS
ROSEMOUNT, MN



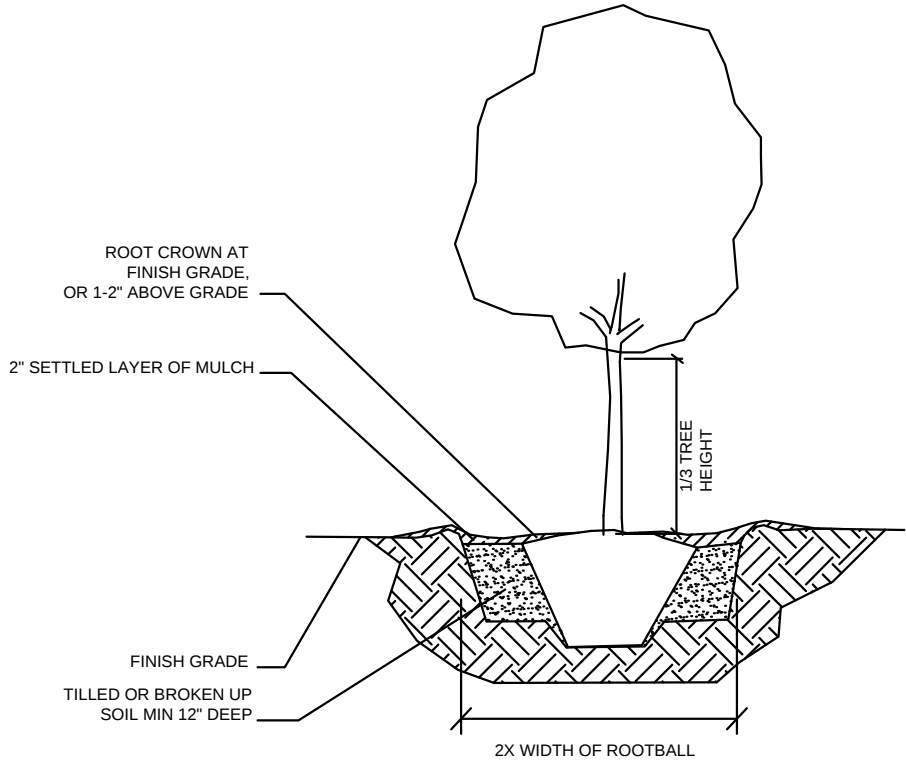
For Review
June 29, 2023
SWPPP PLAN

SHEET 3 of 4

Landscape Planting			
Common Name	Botanical Name	Size	
Autumn Blaze Maple	Acre Freemanii 'Jeffsred'	2.5"	10
Ash	Fraxinus	2.5"	11
Linden	Tilia	2.5"	11
Total Trees			32
Shrubs			193
St. John's Wort, Low Grow Sumac, Tor Spirea, Hyperion Daylily, Dwarf Lilac, Or similar			
Total			225

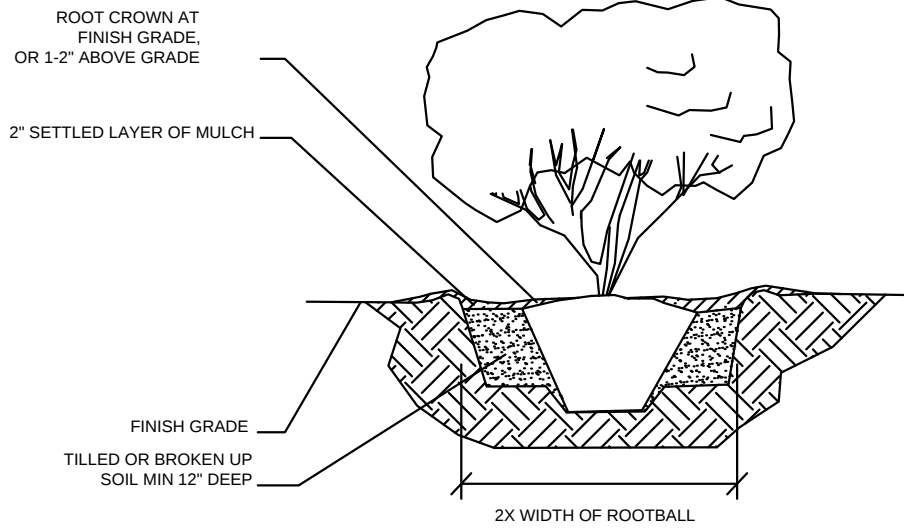
NOTES:

- * CONIFEROUS TREES STAGGERED WITH 15' SPACING
- * DECIDUOUS TREES-20' SPACING
- * THERE ARE NO SIGNIFICANT TREES ON SITE



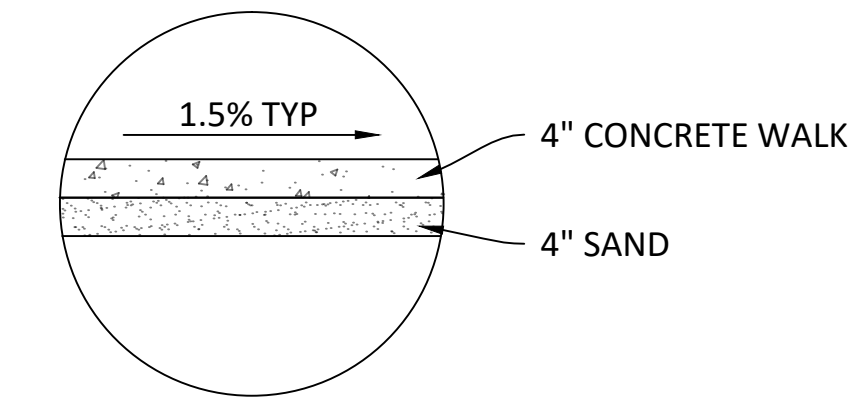
TREE PLANTING

SCALE: NOT TO SCALE



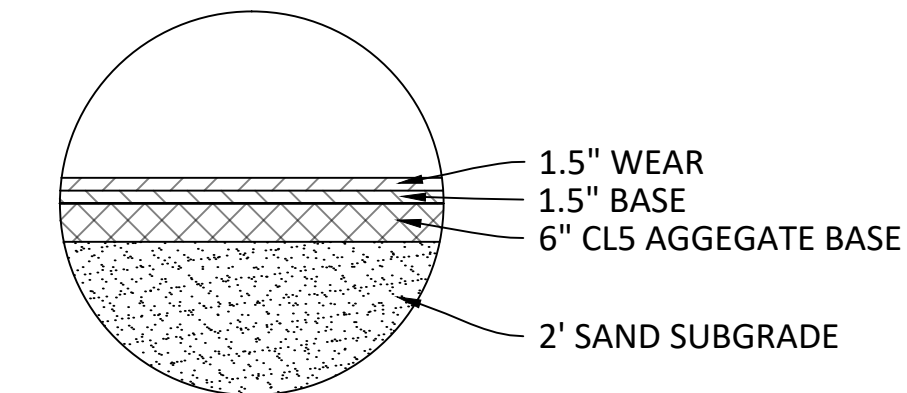
TYP. SHRUB PLANTING

SCALE: NOT TO SCALE



TYPICAL SIDEWALK SECTION

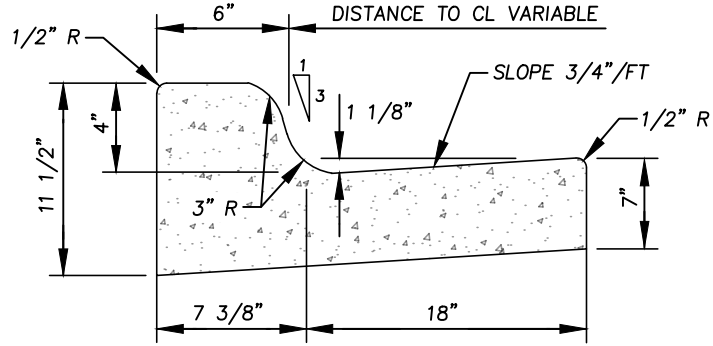
NOT TO SCALE



TYPICAL PARKING LOT SECTION

NOT TO SCALE

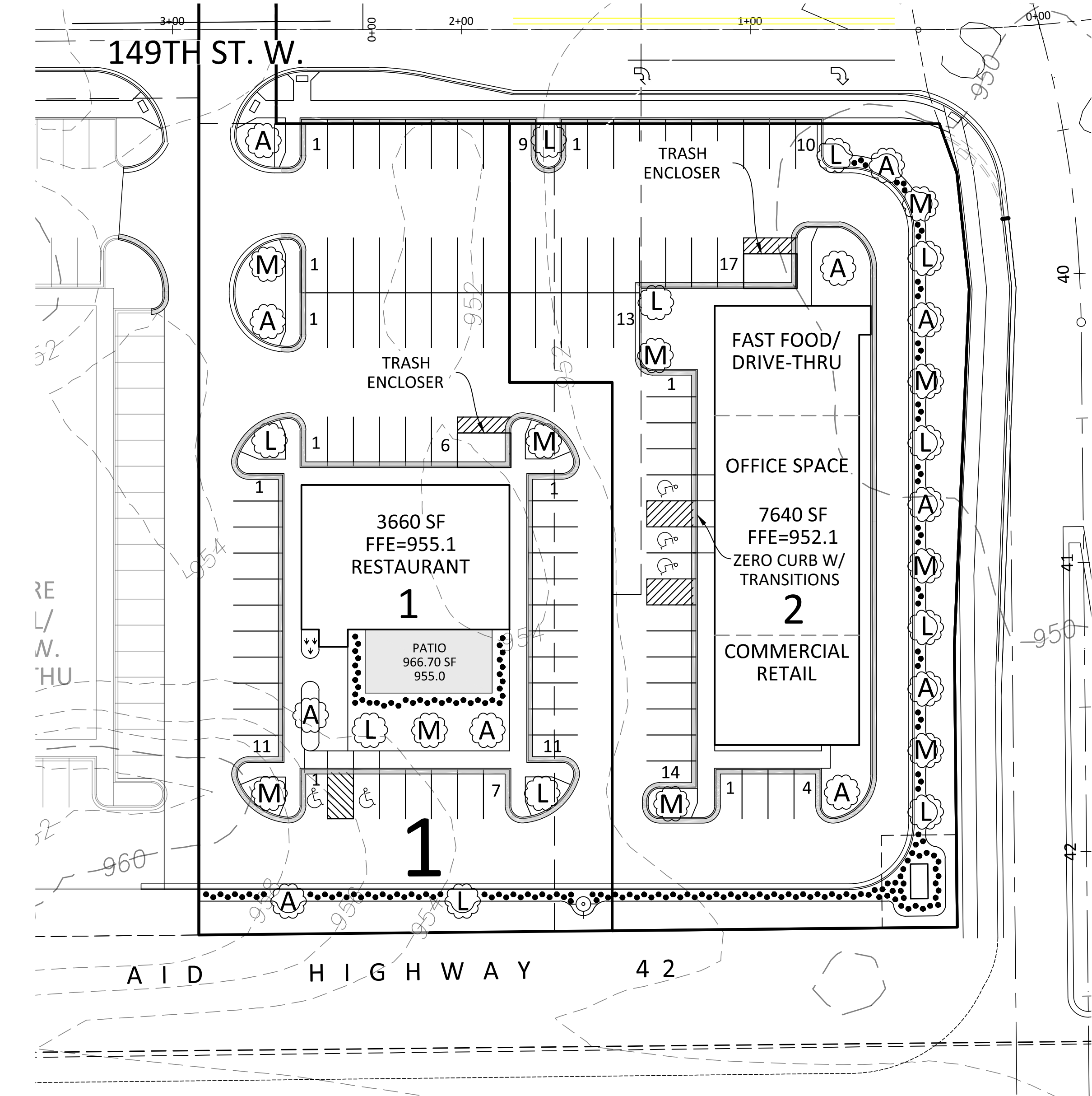
Paving	41,903 SQ FT
Curb and Gutter	2,100 LF
Sidewalk	5,750 SQ FT
Trash Enclosure Concrete	222 SQ FT



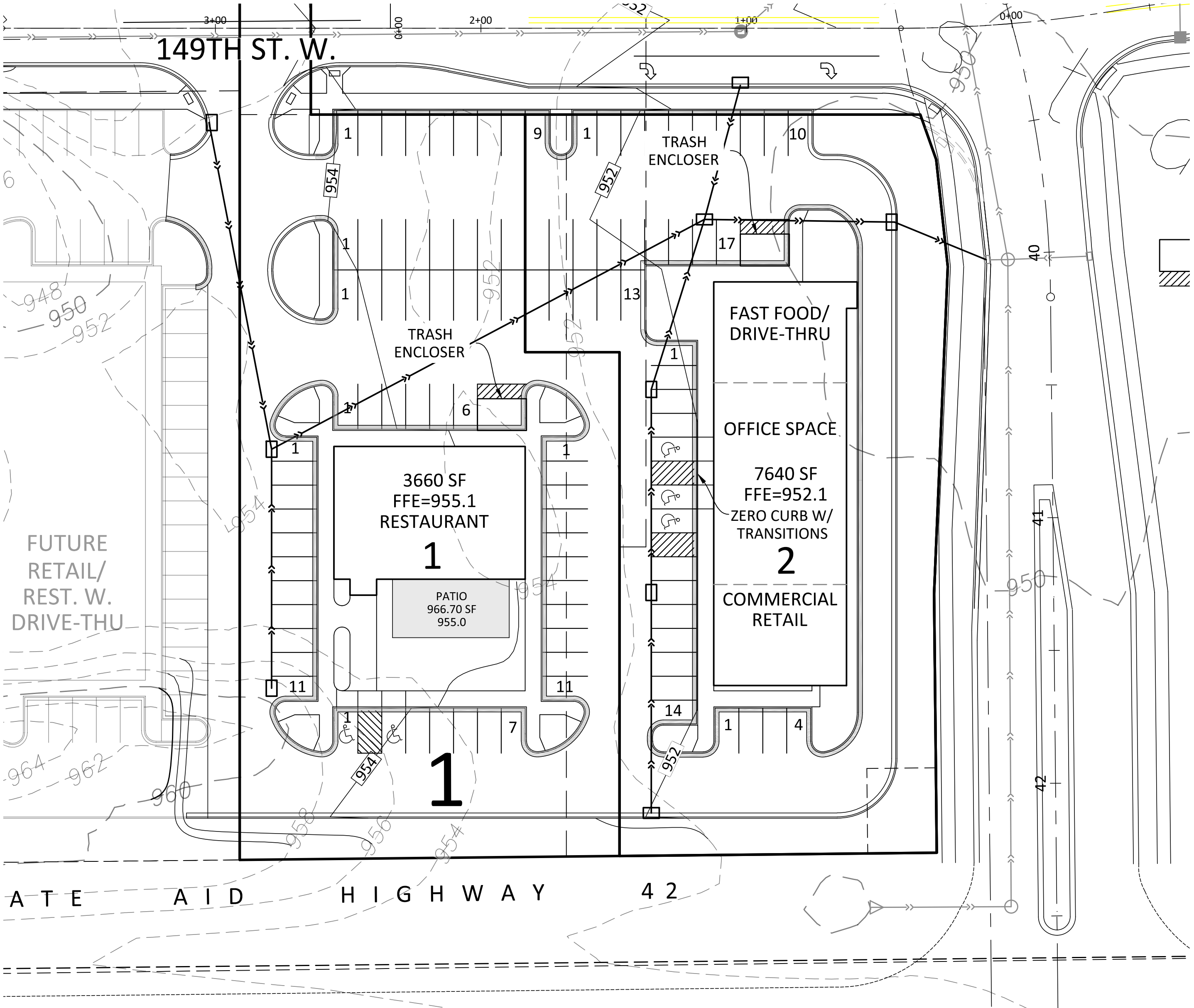
B 418 CURB AND GUTTER

NOT TO SCALE

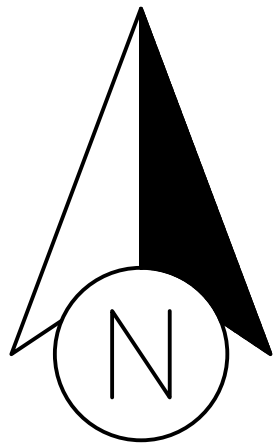
NOTE:
ALL NEWLY INSTALLED STREETS ARE PRIVATE
AND WILL BE MAINTAINED PRIVATELY.



LANDSCAPE PLAN



PAVING PLAN





6001 Egan Drive, Ste 100, Savage, MN 55378
Phone: 952.226.3200 Web: www.kjwalk.com

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly registered engineer under the laws of the State of Minnesota.



Luke Warren Israelson
Registration #: 51362 Date: 6/29/2023

Date	Revision
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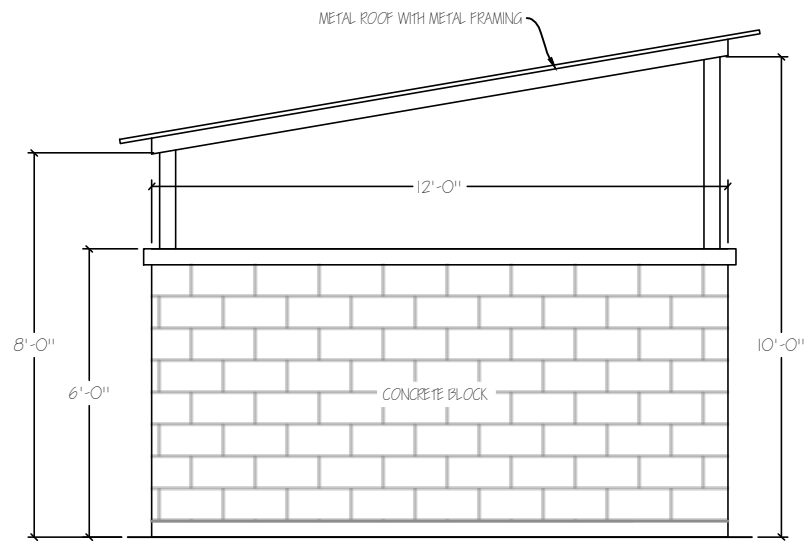
**ROSEWOOD COMMONS
SECOND ADDITION
ROSEMOUNT, MN**



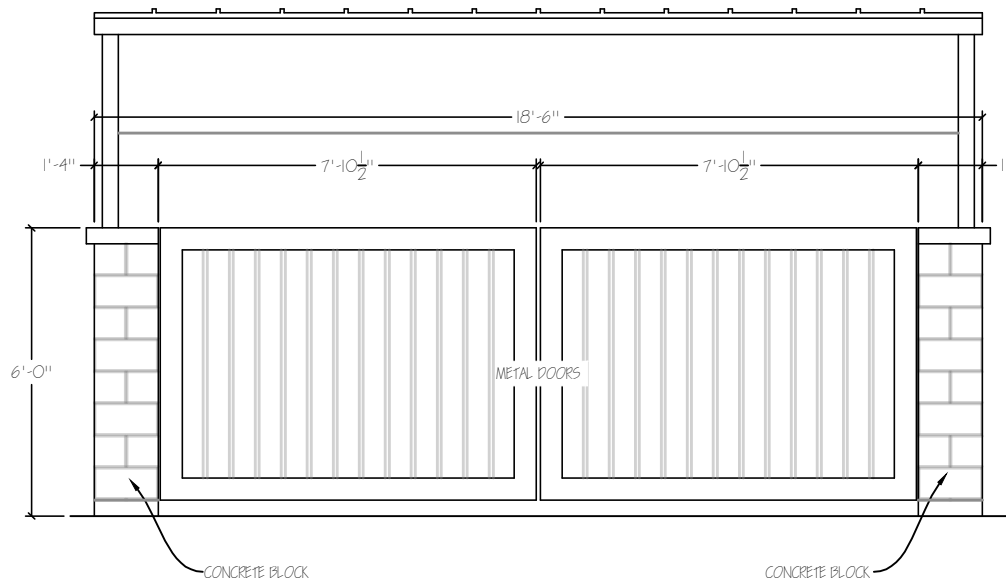
For Review
June 29, 2023
Site Plan- Paving and
Landscape Plan

SHEET 4 of 4

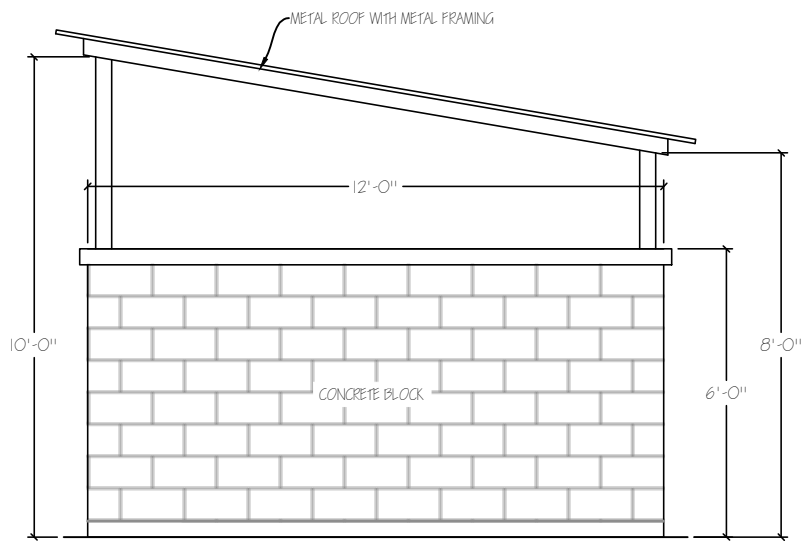
ROSEWOOD COMMONS SECOND ADDITION – TRASH ENCLOSURE



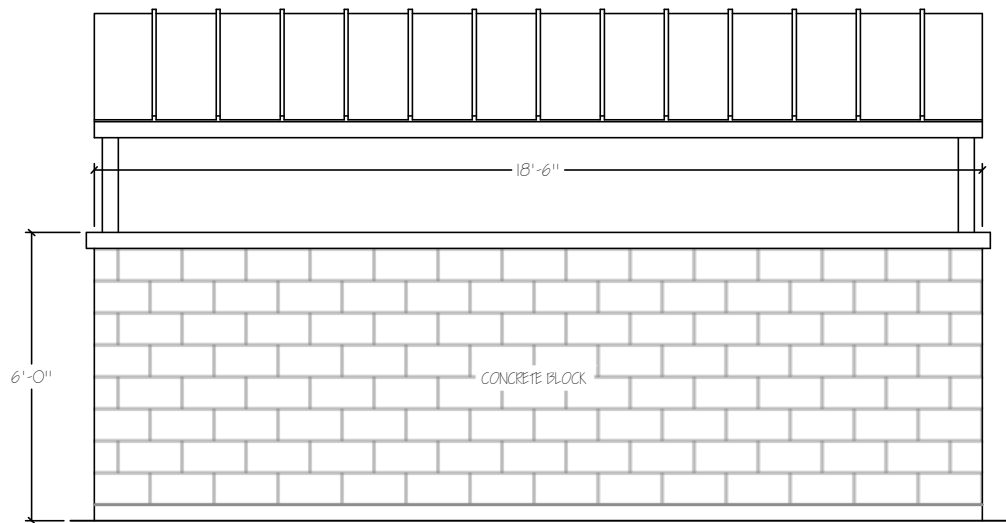
LEFT ELEVATION



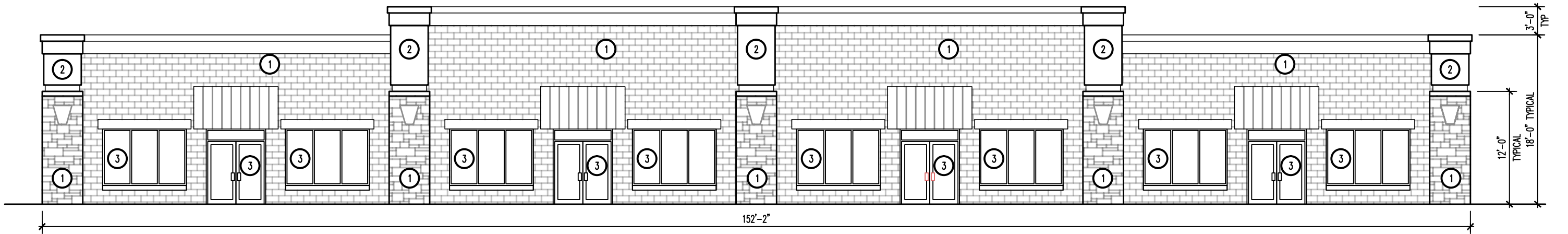
FRONT ELEVATION



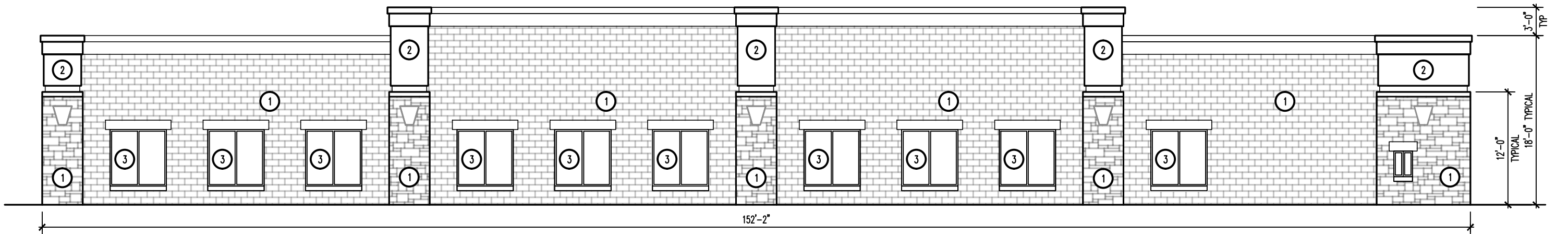
RIGHT ELEVATION



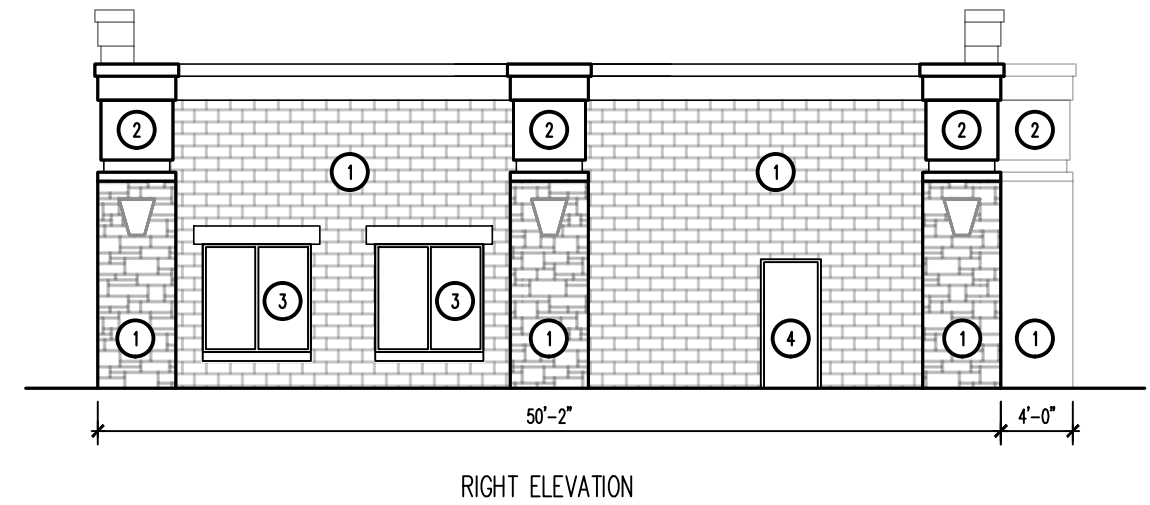
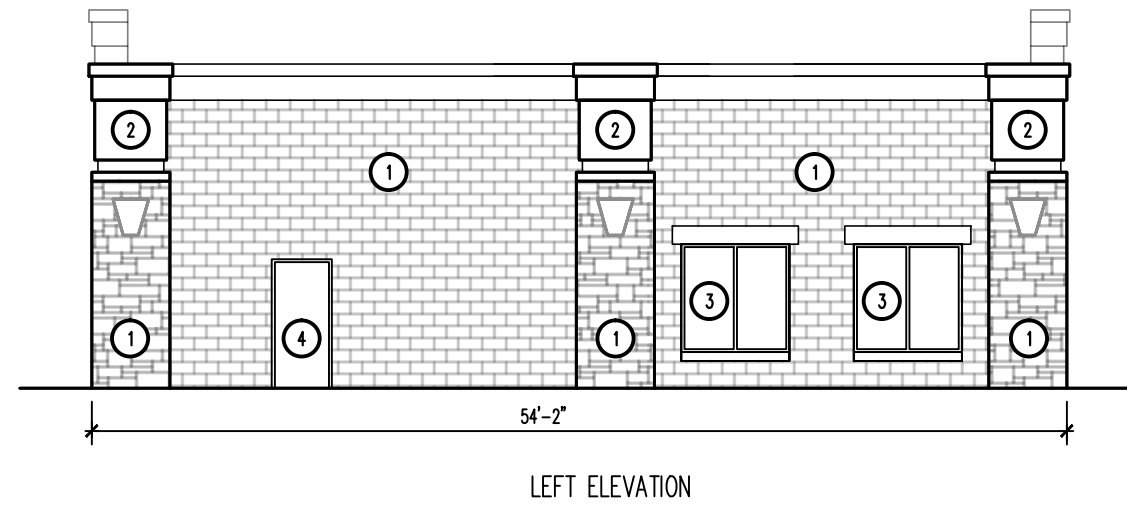
REAR ELEVATION



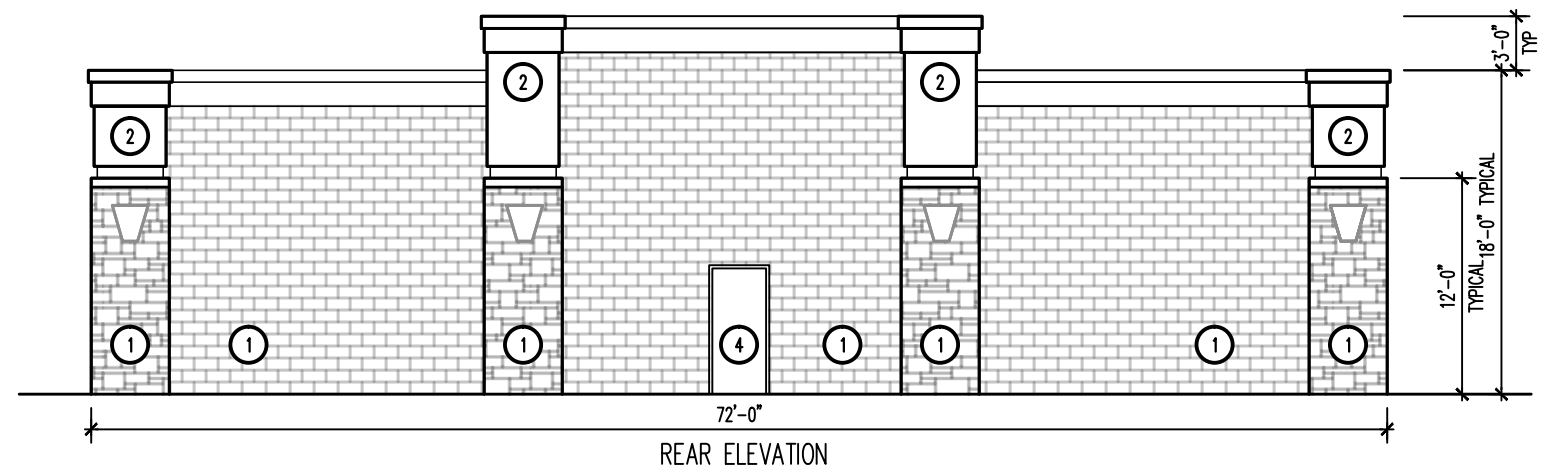
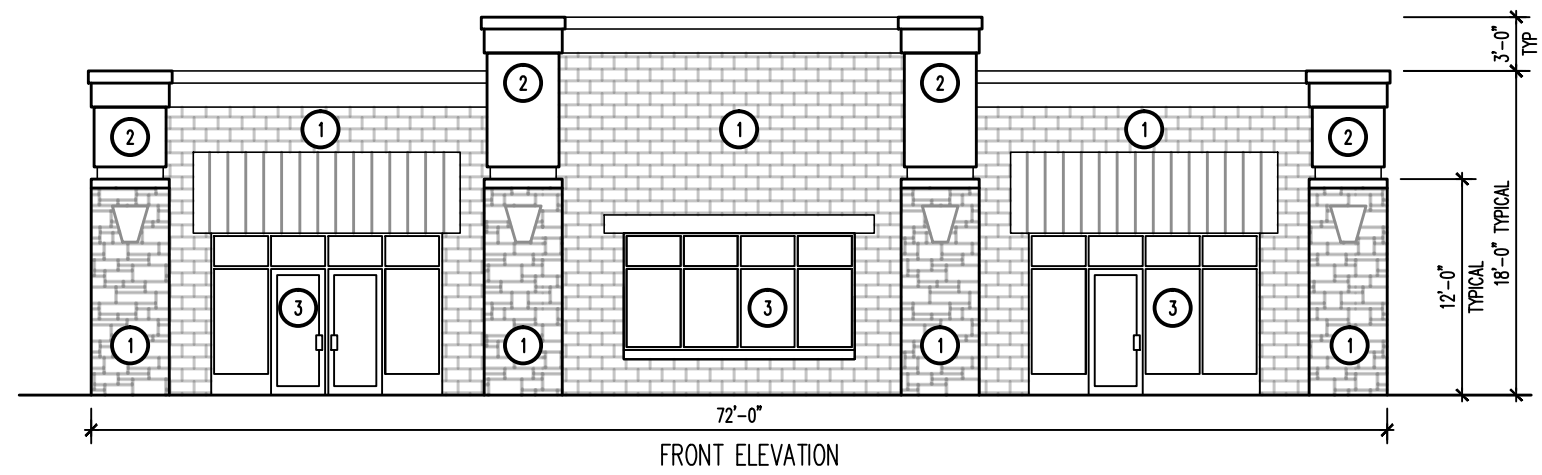
FRONT ELEVATION

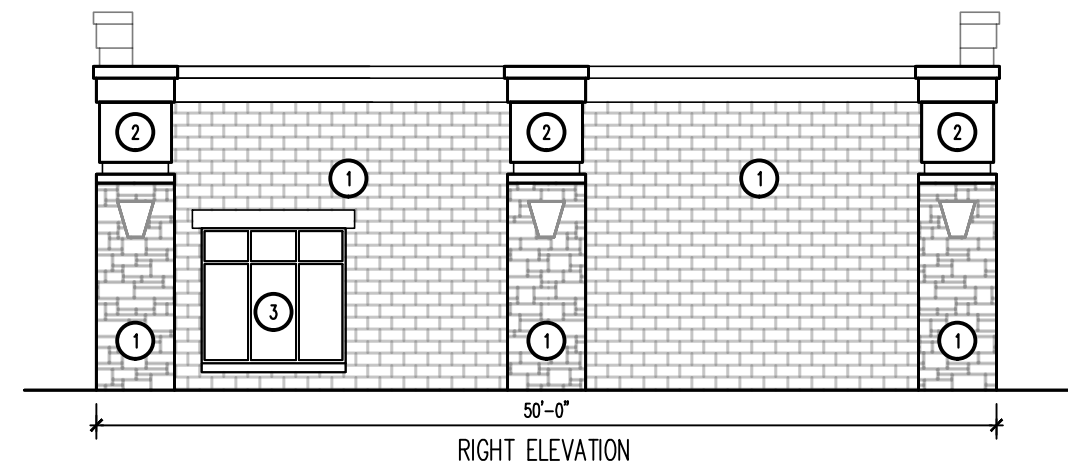
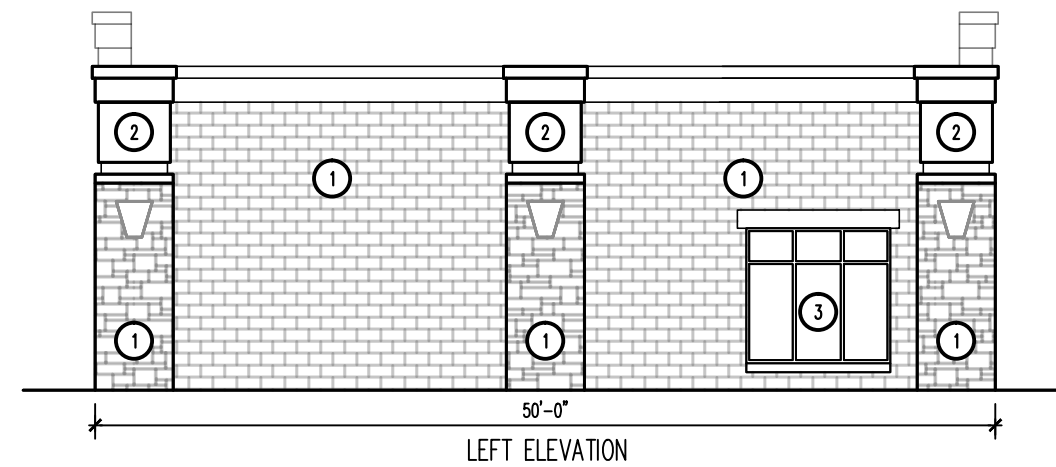


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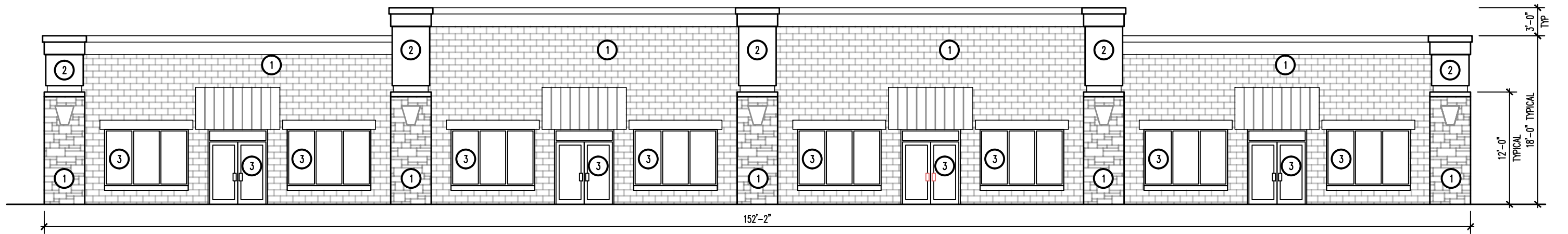


152' LONG BUILDING MATERIAL SQUARE FOOTAGES & PERCENTAGES							
MARK	MATERIAL DESCRIPTION	FRONT SF	RIGHT SF	REAR SF	LEFT SF	TOTALS	% OF TOTAL SF
①	STONE & CAP/ BRICK	1,886	700	2,155	716	5,457	69.2%
②	EIFS/ TRIM/ CORNERS	418	172	420	156	1,166	14.8%
③	ALUMINUM & GLASS STORE FRONT (DOORS & WINDOWS)	667	78	396	78	1,219	15.4%
④	HOLLOW METAL DOORS & FRAMES	0	24	0	24	48	0.6%
	TOTALS	2,971	974	2,971	974	7,890	100.0%

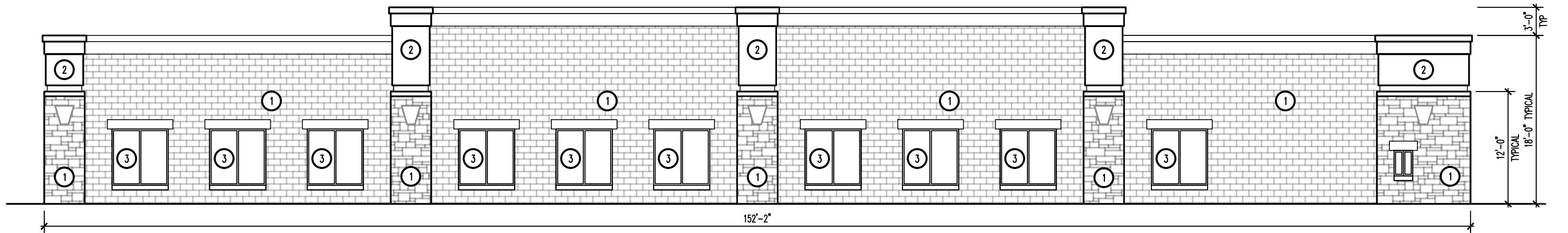




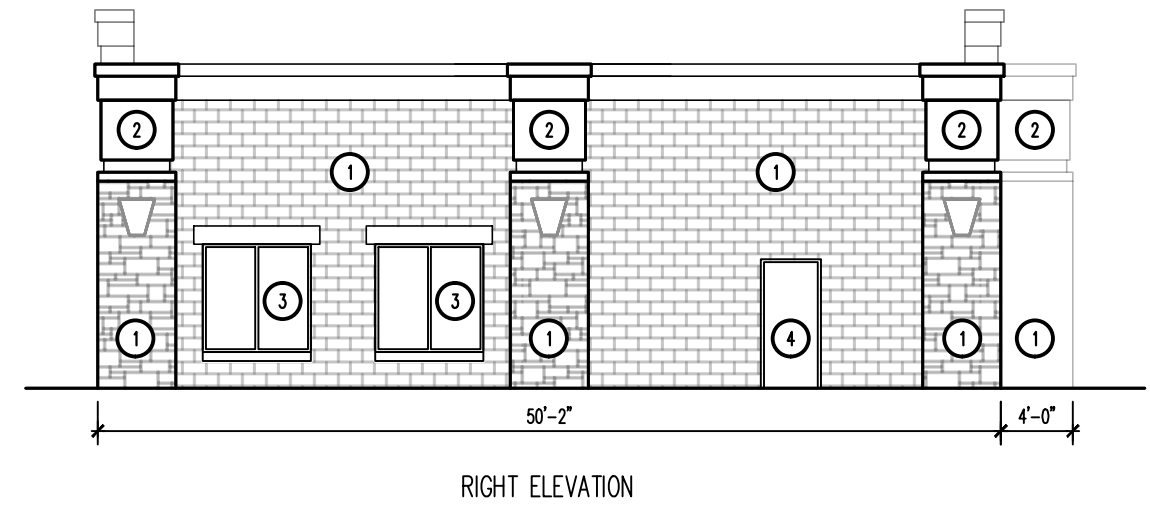
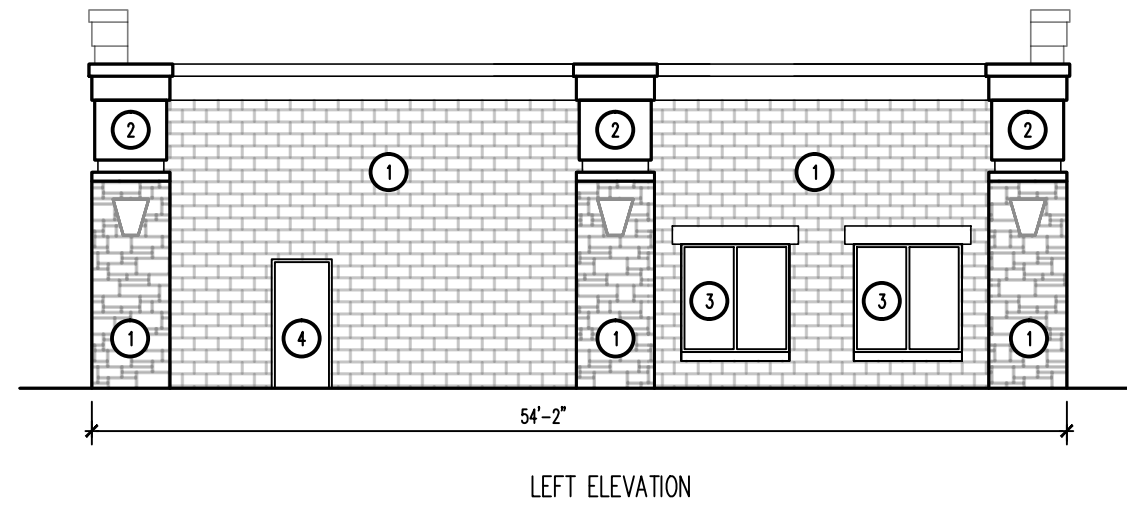
72' LONG BUILDING MATERIAL SQUARE FOOTAGES & PERCENTAGES							
MARK	MATERIAL DESCRIPTION	FRONT SF	RIGHT SF	REAR SF	LEFT SF	TOTALS	% OF TOTAL SF
①	STONE & CAP/ BRICK	825	687	1,123	687	3,322	72.9%
②	EIFS/ TRIM/ CORNERS	232	148	232	148	760	16.7%
③	ALUMINUM & GLASS STORE FRONT (DOORS & WINDOWS)	322	64	0	64	450	9.9%
④	HOLLOW METAL DOORS & FRAMES	0	0	24	0	24	0.5%
	TOTALS	1,379	899	1,379	899	4,556	100.0%



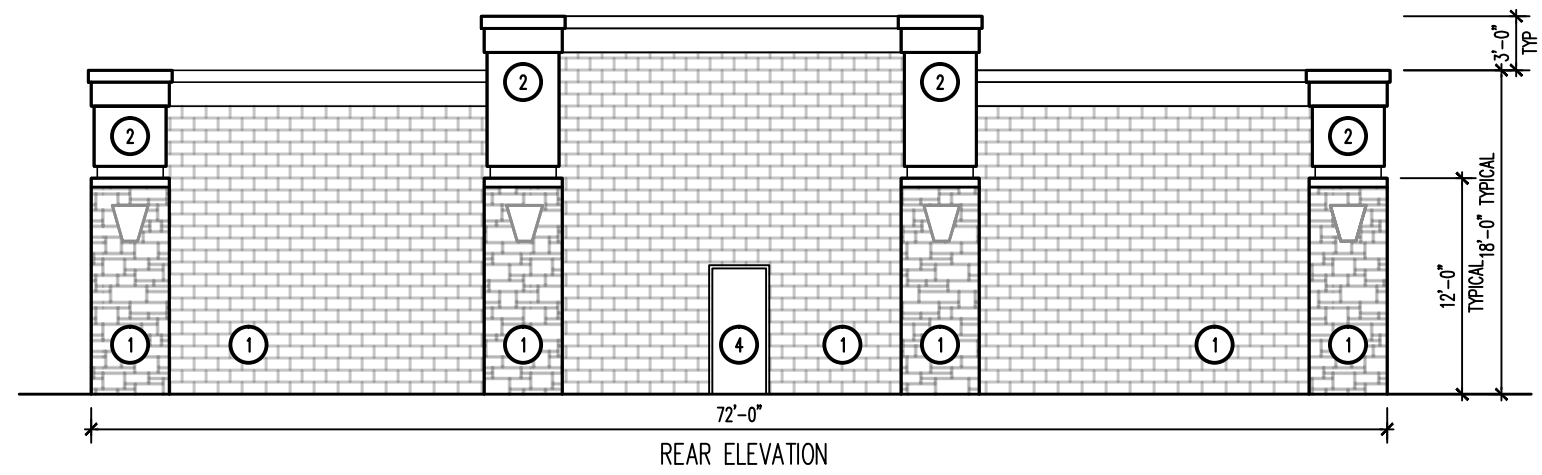
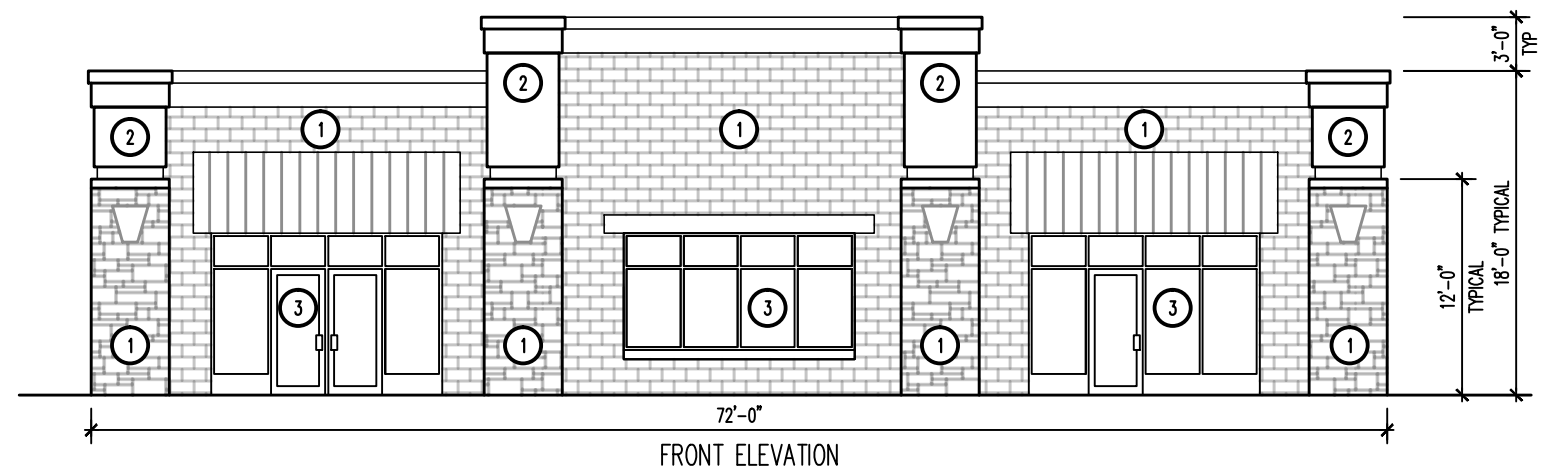
FRONT ELEVATION

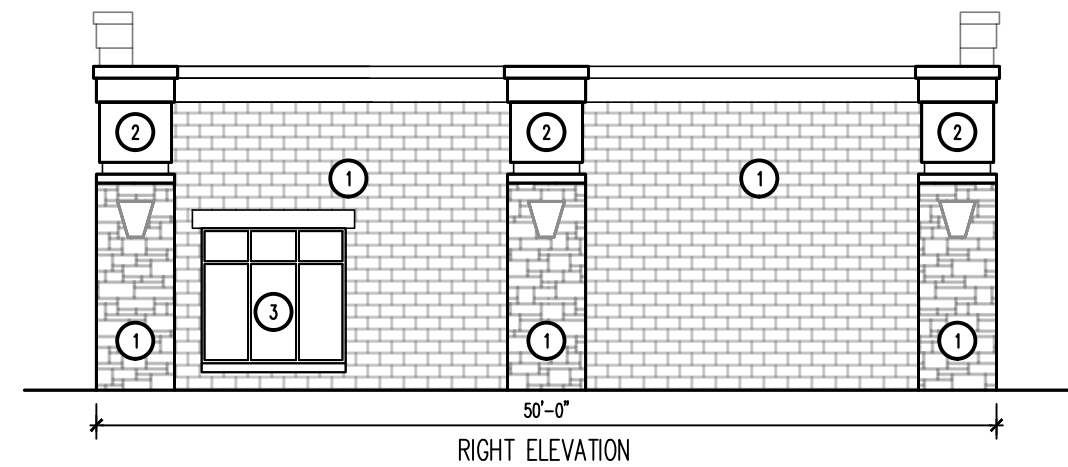
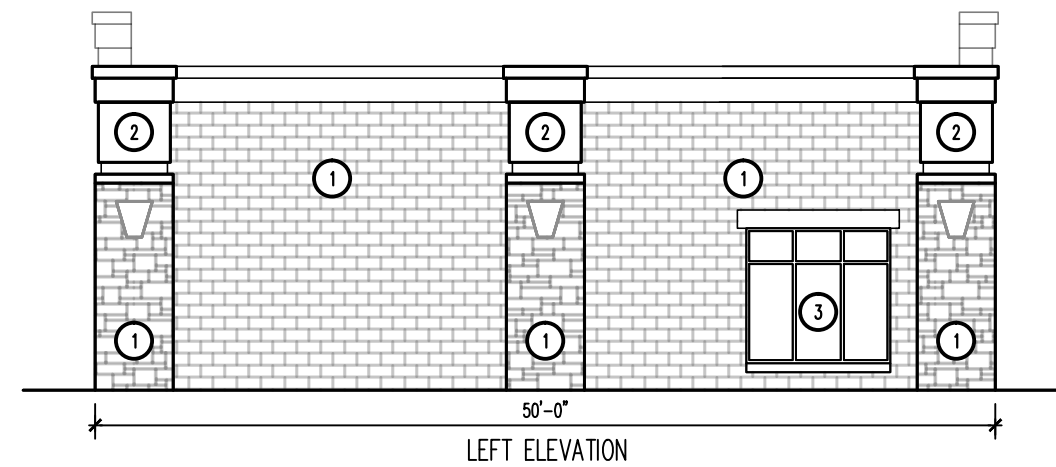


REAR ELEVATION



152' LONG BUILDING MATERIAL SQUARE FOOTAGES & PERCENTAGES							
MARK	MATERIAL DESCRIPTION	FRONT SF	RIGHT SF	REAR SF	LEFT SF	TOTALS	% OF TOTAL SF
①	STONE & CAP/ BRICK	1,886	700	2,155	716	5,457	69.2%
②	EIFS/ TRIM/ CORNERS	418	172	420	156	1,166	14.8%
③	ALUMINUM & GLASS STORE FRONT (DOORS & WINDOWS)	667	78	396	78	1,219	15.4%
④	HOLLOW METAL DOORS & FRAMES	0	24	0	24	48	0.6%
	TOTALS	2,971	974	2,971	974	7,890	100.0%





72' LONG BUILDING MATERIAL SQUARE FOOTAGES & PERCENTAGES							
MARK	MATERIAL DESCRIPTION	FRONT SF	RIGHT SF	REAR SF	LEFT SF	TOTALS	% OF TOTAL SF
①	STONE & CAP/ BRICK	825	687	1,123	687	3,322	72.9%
②	EIFS/ TRIM/ CORNERS	232	148	232	148	760	16.7%
③	ALUMINUM & GLASS STORE FRONT (DOORS & WINDOWS)	322	64	0	64	450	9.9%
④	HOLLOW METAL DOORS & FRAMES	0	0	24	0	24	0.5%
	TOTALS	1,379	899	1,379	899	4,556	100.0%