



AGENDA

Planning Commission Regular Meeting

Tuesday, October 22, 2024

6:30 PM

City Council Chambers, City Hall

- 1. CALL TO ORDER/PLEDGE OF ALLEGIANCE**
- 2. ADDITIONS TO AGENDA**
- 3. AUDIENCE INPUT**
- 4. CONSENT AGENDA**
 - a. Minutes of the September 24, 2024 Regular Meeting Minutes
- 5. OLD BUSINESS**
- 6. PUBLIC HEARINGS**
 - a. Comprehensive Plan Amendment proposing changes to the Metropolitan Urban Services Area boundary.
 - b. Zoning ordinance text amendments to Title 11 of the Rosemount City Code and revisions to the City of Rosemount's Zoning Map.
 - c. Request by DevCo Preservation, LLC, for PUD Final Site and Building Plan Approval.
- 7. NEW BUSINESS**
- 8. DISCUSSION**
- 9. ADJOURNMENT**

**ROSEMOUNT PLANNING
COMMISSION REGULAR MEETING
PROCEEDINGS
SEPTEMBER 24, 2024**

CALL TO ORDER/PLEDGE OF ALLEGIANCE

Pursuant to due call and notice thereof, a regular meeting of the Rosemount Planning Commission was held on Tuesday, September 24, 2024, at 6:30 PM. in Rosemount Council Chambers, 2875 145th Street West.

Chairperson Kenninger called the meeting to order with Commissioner Beadner, Buggi, Rivera, Reed and Whitman. Commissioner Ellis was absent.

ADDITIONS TO AGENDA

Senior Planner Nemcek confirmed there are no additions to the agenda.

AUDIENCE INPUT

No audience input.

CONSENT AGENDA

Motion by Kenninger **Second by** Whitman

Motion to approve consent agenda

Ayes: 6.

Nays: None. Motion Carried.

- a. Minutes of the August 27, 2024 Regular Meeting Minutes

OLD BUSINESS

- a. Request by KJ Walk for approval of a PUD Final Site and Building Plan and a Major Amendment to the Rosewood Commons Planned Unit Development Agreement to allow for the construction of two commercial buildings with outdoor dining and a drive-through facility.

Planner, Julia Hogan, discussed KJ Walk requests to construct two commercial buildings in the northwest quadrant of the intersection of Business Parkway and County Road 42. The parcels on which the buildings would be constructed are part of the Rosewood Commons Planned Unit Development. One of the buildings will be a standalone restaurant (western parcel), while the other will be a multi-tenant retail building (eastern parcel) with a drive-through facility serving a fast-food and a fast-casual restaurant. The applicant is seeking a deviation from the code related to exterior materials.

Ms. Hogan noted these requests were seen by the Planning Commission at both their July 23, 2024, and August 27, 2024, meetings. A public hearing was held for the requests at the July 23 meeting, where the Planning Commission voted to continue the item until the August 27 meeting so that the applicant could provide additional information and updated submitted materials. The applicant did provide additional materials for the August 27 meeting, but staff recommended that the item be continued until the September 24 meeting so that the applicant could provide all the information that was requested by the Planning Commission, i.e. updated site plan, landscape plan and 3D renderings of the site.

Staff presented the updated site plan as the applicant was able to shift the parking surface along the north property line south to meet the minimum setback requirement, so an amendment to the Rosewood Common PUD is no longer needed for this deviation. The site plan shows the development meets all other setback requirements.

The applicant is requesting the ability to include up to 18.5% EIFS (zoning ordinance requires no more than 10% EIFS) in exchange or including stone and brick beyond that required by the zoning ordinance. Staff is supportive of this request since the EIFS is limited to accent areas and the overall result is building elevations primarily consisting of brick or stone when the applicant could have identified other materials for use that would result in less brick or stone on the elevations.

The applicant submitted an updated site plan showing the changes in parking stall count to reflect the recently updated parking requirement, as well as changes in use in portions of the eastern building, and an updated landscape plan that has a shortfall of one tree, so staff is including a condition of approval that the applicant update the landscaping plan to add one additional tree on site prior to City Council approval.

Staff has reviewed the updated plans submitted by the applicant and is recommending approval of the PUD final site and building plan and major amendment to the Rosewood Commons Planned Unit Development Agreement.

Commissioner Reed questioned the car stacking area and Ms. Hogan confirmed the requirement for the parking meets the requirements of what is in our city code. Chairperson Kenninger recommended requiring trees that include an evergreen type for additional screening. Ms. Hogan noted, staff can add that as a condition to the landscaping plan as staff sees fit. Commissioner Whitman questioned if there would be any independent signs and Ms. Hogan stated the signage requirement is separate and part of the building permit process. Commissioner Whitman also questioned the noise and whether the noise from the drive-through will be an issue.

Warren Israelson

KJ Walk

The applicant addressed the questions of the Planning Commission. First, the Planning Commission wants to make sure any noise cannot be heard in the residential area. The user will need ensure the residents should not be able to hear the drive through. The applicant will do experimenting ahead of time to ensure the noise will not be a problem for the nearby residents. The applicant also confirmed the bump on the north side of the parking lot is for food that may not be ready yet noting customers could wait there. The applicant also agreed to include additional shrubbery that will provide additional screening. The plan will be to have fast food on the northside then potentially retail on southside for a total of approximately 4 users. The timing for the project will be next spring.

Chairperson Kenninger questioned the parking requirements being the tenants are unknown at this point. Ms. Hogan confirmed the commercial space could potentially change parking requirements should it become a restaurant versus retail.

Commissioner Buggi questioned the trash enclosure placement as it may impact traffic. Ms. Hogan confirmed the current placement of the trash enclosure does fit within the traffic plan.

Motion by Kenninger Second by Reed

Motion to approve the Planned Unit Development Final Site and Building Plan to allow for the construction of two commercial buildings with outdoor dining areas and a drive-through facility at 14904 Business Parkway and 2730 149th Street West, subject to the following conditions including a modification to item b

- a. Approval of an amendment to the Rosewood Commons Planned Unit Development Agreement.
- b. The applicant shall update the landscape plan to add one additional tree to the site as well as update landscape plans east of the site to include coniferous trees and screening that meets the 90% capacity requirement within the drive-through conditions prior to City Council approval.
- c. The applicant shall apply for a sign permit for any site signage which includes signage related to the drive-through facility.
- d. Payment of \$15,480 in lieu of park land dedication.
- e. Payment of any area charges that were not collected as part of the subdivision agreement.
- f. Conformance with all the required standards associated with outdoor dining and drive-through facilities.
- g. No public address system shall be audible from adjacent non-commercial property boundaries.
- h. Continuous fencing is required around the entire outdoor seating area prior to issuance of a liquor license.

Ayes: 6.

Nays: None. Motion Carried.

Motion by Kenninger Second by Reed

Motion to recommend the City Council approve a Major Amendment to the Rosewood Commons Planned Unit Development Agreement, subject to:

- a. A deviation from Section 11-7-2: Architectural Standards to allow up to 18.5% EIFS so long as the remaining non-glass areas contain at least 80% brick or stone.

Ayes: 6.

Nays: None. Motion carried.

Chairperson Kenninger confirmed this item will move forward to City Council for consideration on October 15th.

PUBLIC HEARINGS

- a. Request by Furlong Excavating for renewal of its Small-Scale Mineral Extraction Permit for 2025.

Julia Hogan, Planner, presented the request to consider an application from Furlong Excavating requesting renewal of its annual small-scale mineral extraction permit for the property located immediately west of Fisher Avenue and approximately ¼ mile south of Highway 55 in the far eastern portion of Rosemount. Following a period of inactivity at the mine site, the Planning Commission approved a mineral extraction permit in late spring of 2019 to allow the applicant to sell aggregate to a construction company that was working on the reconstruction of County Road 42 east of Highway 55. The applicant would like to continue being able to sell aggregate on an as-needed basis to Pine Bend Paving and other construction companies and is requesting renewal of the mineral extraction permit that expired on December 31, 2023.

Ms. Hogan recapped the primary use of the site after the 2019 approval of the permit was for extraction of aggregate to be used for the reconstruction of County Road 42 east of Highway 55 in Nininger Township. As an interim use, permits for mineral extraction are valid for one calendar year (January 1 – December 31); however, in order to accommodate the construction schedule for the County Road 42 project, staff recommended that the Furlong Excavating permit be issued through 2020, with an administrative staff review at the end of 2019. At that time, staff found the operation to be in compliance with the requirements of the 2019 Small Scale Mineral Extraction Permit. The mineral extraction permit was also renewed in 2021 and 2023 for the site. Over the last few years, the site has been used for extracting aggregate material on an as-needed basis for various construction/paving companies. The applicant is expecting the same for the site for 2025.

Ms. Hogan noted there were no complaints received by the Rosemount Police Department during the permitted time period.

Chairperson Kenninger opened the public hearing.

Motion by Kenninger Second by Reed

Motion to close the public hearing

Ayes: 6.

Nays: None. Motion carried.

Chairperson Kenninger noted there are no big changes from the request from 2024 to 2025.

Motion by Buggi Second by Whitman

Motion to Recommend the City Council Approve the Furlong Excavating Small-Scale Mineral Extraction Permit for 2025, subject to the terms and conditions in the attached 2025 Draft Conditions for Mineral Extraction.

Ayes: 6.

Nays: None. Motion Carried.

Chairperson Kenninger confirmed this item will move forward to City Council on October 15th.

- b. Request by Dakota Aggregates for an amendment to its Large Scale Mineral Extraction Permit.

Anthony Nemcek, Senior Planner, presented request by Dakota Aggregates for an amendment to its Large-Scale Mineral Extraction (LSME) Permit. The proposed amendment would add two new dry

mining phases within the north mining area. Mining in these two phases will occur over two years, in 2025 and 2026, and it will coincide with the construction of the new middle school at the intersection of Biscayne and County Road 42.

Mr. Nemcek explained the main purpose of the proposed mining amendment is to begin the process of site preparation for eventual development of the land, which includes the removal of the berm and the connection of university land on either side of the berm. The material from the berm will be placed in the new proposed mining area to create a flat, easily developable area as outlined in Dakota Aggregates' reclamation plan. This work will occur in coordination with the removal of the berm and grading of the site in the area where the middle school will be built.

Mr. Nemcek noted reclamation of the proposed mining area will begin in late 2025, and it will continue through 2027, at which time the site will be fully reclaimed, and the mining area will be completed in 2030. The terms of the current LSME will remain the same, and the only change to the 2024 permit is the addition of Phase 3C to the phases listed in the current permit. Mr. Nemcek also noted with the recommend action to the City Council to approve the amendment for 2024 which will need to be renewed again for 2025 and with the updated zoning code, 2-year renewal with an administrative review after the first year.

Chairperson Kenninger questioned how the Amber Fields developers feel towards the amendment as the development was expecting more of the area to be reclaimed behind their development for an additional four more years. Mr. Nemcek stated they've received public notice, however stated whatever it takes to get it done quickly would be favorable by Amber Fields based on comments received in the past.

Commissioner Reed questioned whether there would be a berm on the north edge of this new planned mining operation. Mr. Nemcek noted the berm wouldn't be 30 foot high, however the edges would be pushed and create a lower berm which they would mine down to a depth of about 50 feet so most of the activity would be happening below grade and out of view of County Road 42 which will mitigate any noise issues.

Staff noted that noise monitoring that was completed in the past by devices installed by Dakota Aggregates was not found to be effective as the devices would pick up sound from traffic along County Road 42.

Chairperson Kenninger opened the public hearing.

Matt Mettling

Operations Manager of Dakota Aggregates

Mr. Mettling answered the following commissioner questions; Dakota Aggregates has been in communication with the School District and intends to put up a fence to ensure separation between the mining and school, the north area of the two phases will have a little reclamation work going on and there shouldn't be much overlap with the school's construction. Mr. Mettling also confirmed Dakota Aggregates has done a lot of work over the years to minimize the noise away from the residents and noted mining deeper is going to block noise and trucks are not allowed on the higher roads anymore. In addition, the loaders will have a very soft noise when backing up that is allowed versus the beeping noise used in the past. Mr. Mettling stated they will continue to mine at the same one shift operation for 12 hours, i.e. start at 4 a.m. and end at 4 p.m. or 5 p.m. Dakota Aggregates stated they have no concerns about any dust and being close to houses based on their processes they have in place.

Motion by Kenninger Second by Whitman

Motion to close the public hearing

Ayes: 6.

Nays: None. Motion carried.

Commissioner Reed shared his thoughts that he is concerned about having the mining operation closer to a residential area however given the different circumstances and Dakota Aggregates being a good partner, Commissioner Reed is in favor of the proposed amendment. Chairperson Kenninger noted if residents have complaints regarding noise to call the Rosemount Police Department to report the noise.

Motion by Reed Second by Whitman

Motion to recommend the City Council approve an amendment to Dakota Aggregates 2024 Large Scale Mineral Extraction Annual Operating Permit Agreement.

Ayes: 6.

Nays: None. Motion Carried.

Chairperson Kenninger stated this recommendation will go to City Council for consideration on October 15th.

- c. Conditional Use Permit Request by Hussein Abdullahi for a Live/Work Dwelling in the MX-1 Downtown Mixed Use District.

Anthony Nemcek, Senior Planner, presented the request for a Conditional Use Permit request by Hussein Abdullahi for a Live/Work Dwelling at 3005 Lower 147th Street West. The subject property is located within the MX-1 Downtown Mixed Use District, and Dwelling, Live/Work is a use that is conditionally permitted in that zoning district. The principal structure on the site is a single-family home that has recently been used as an office. Common areas such as the dining room and living room were used for offices and meeting space. The structure still contains many features found in a typical residential dwelling, such as a kitchen and laundry. Bedrooms are located on the second floor of the structure.

Mr. Nemcek noted the business would generally be open from 9-5, Monday thru Friday for meeting with clients to generally do administrative tasks and there would be minimal on-street parking. The business purpose will not be detrimental to or endanger the public health, safety or general welfare of the neighborhood or City.

Mr. Nemcek described how the site would be used for both business purposes and a dwelling. In addition, Mr. Nemcek noted there are no use-specific conditions related to a live/work dwelling beyond the 8 general conditions listed within the memo. Staff finds that no additional conditions are needed and therefore do not recommend any.

Chairperson Kenninger questioned the number of clients that would meet at one time, Mr. Nemcek responded noting that clients would sign a lease once a year and there may be administrative purposes to visit the property, however it wouldn't be like a retail space that would expect a high volume of people visiting which would accommodate the driveway parking and wouldn't necessarily need any on-

street parking. Mr. Nemcek noted, the applicant couldn't technically lease out this house and only work in the office; the applicant must do both based on the conditional use permit conditions.

Chairperson Kenninger opened the public hearing.

Hussein Abdullahi

3005 Lower 147th Street West

Mr. Abdullahi informed the Planning Commissioners the visits from new tenants would be a maximum of 2-3 times a year. However, the home care clients could be five employees for training purposes a few times a year.

Motion by Kenninger Second by Buggi

Motion to close the public hearing

Ayes: 6.

Nays: None. Motion carried.

Motion by Whitman Second by Beadner

Motion to Motion to recommend the City Council approve a conditional use permit for a live/work dwelling at 3005 Lower 147th Street West.

Ayes: 6.

Nays: None. Motion Carried.

Chairperson Kenninger noted this item will move forward for City Council consideration on October 15th.

NEW BUSINESS

None.

DISCUSSION

Community Development Director Kienberger noted the Planning Commission is welcome to attend the October 15th Port Authority meeting which will include an update on the County Road 42 visioning. In addition, Mr. Kienberger noted staff is still in the process of hiring a Community Development Technician.

ADJOURNMENT

There being no further business to come before the Planning Commission at the regular planning commission meeting and upon a motion by Kenninger the meeting was adjourned at 7:45 p.m.

Respectfully submitted,

Erin Fasbender
City Clerk

Planning Commission Regular Meeting: October 22, 2024

Tenative City Council Meeting: November 19, 2024

AGENDA ITEM:	Comprehensive Plan Amendment proposing changes to the Metropolitan Urban Services Area boundary.	AGENDA SECTION:	PUBLIC HEARINGS
PREPARED BY:	Anthony Nemcek , Senior Planner	AGENDA NO.	6.a.
ATTACHMENTS:	Site Location Map, Rosemount Middle School MUSA, UMore MUSA	APPROVED BY:	AK
RECOMMENDED ACTION: Motion to recommend the City Council approve two amendments to the Comprehensive Land Use Plan to expand the MUSA to contain the entire site of the new middle school and sixty acres south of Meta's data center project within UMore Park.			

BACKGROUND

The Planning Commission is being asked to consider two amendments to the City of Rosemount Comprehensive Land Use Plan that would expand the Metropolitan Urban Service Area (MUSA). The first amendment would expand the MUSA boundary to encompass the entirety of the recently approved middle school site and the second would bring approximately sixty acres immediately south of Meta's data center project into the MUSA boundary. The University of Minnesota would like to take advantage of the extension of sewer and water infrastructure to the area to market additional land within its UMore Park in anticipation of new development opportunities.

Middle School Site

The current MUSA boundary bisects the Middle School site. Earlier in 2024, the City approved the rezoning and platting of the site as well as a site plan review and conditional use permit to allow for construction of the middle school. The overall school site is 75.6 acres, with the MUSA expansion Area comprising approximately 32 acres or 42.5% of the site.

UMore Park

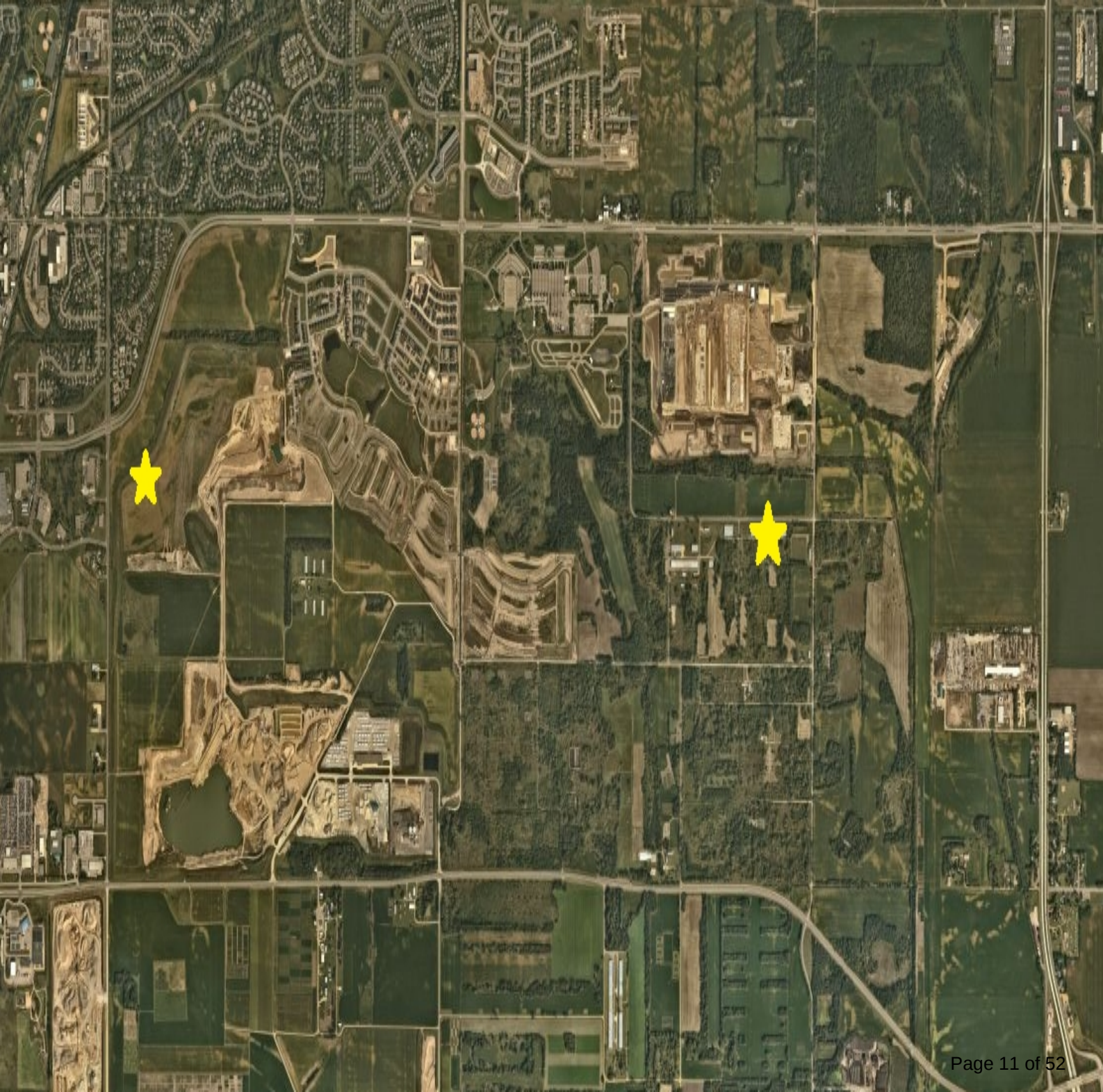
The construction of Meta's data center on land within the UMore Park boundary is resulting in a significant expansion of infrastructure in the vicinity. Sewer and water are being extended to Blaine Avenue within the CSAH 42 right of way, and Blaine Avenue is being improved to the southern Meta site boundary. The University has asked the City to consider bringing approximately sixty acres of Business Park-guided land into the MUSA boundary as it begins to market additional land in this area for development. Staff is supportive of the expansion, and no changes to the designations in the land use map are being proposed as part of the MUSA expansion. At this time, the City has received no applications to develop the subject property.

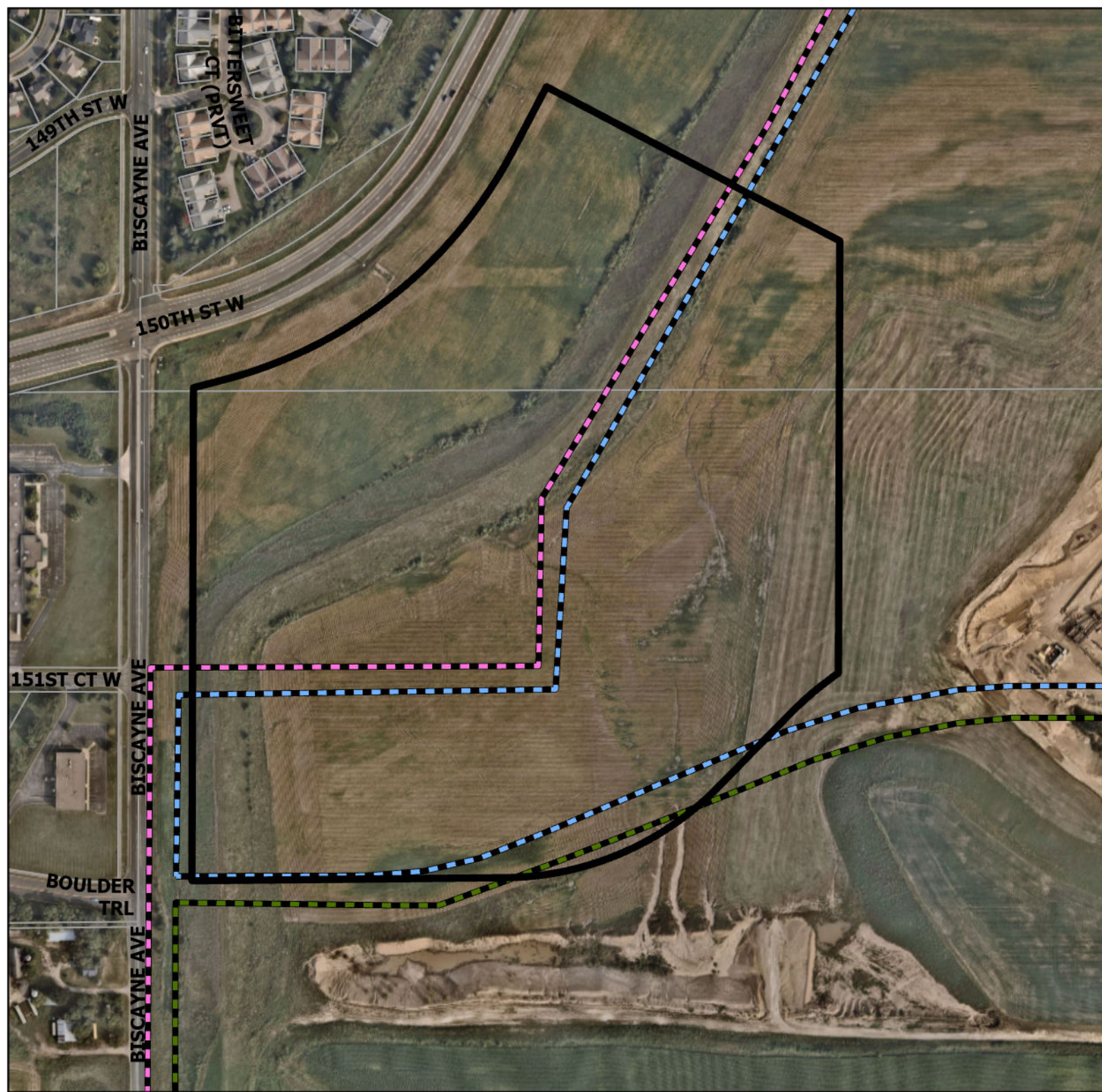
If approved by the City Council, and following review by adjacent and affected jurisdictions, staff will

submit the amendments to the Metropolitan Council for its approval.

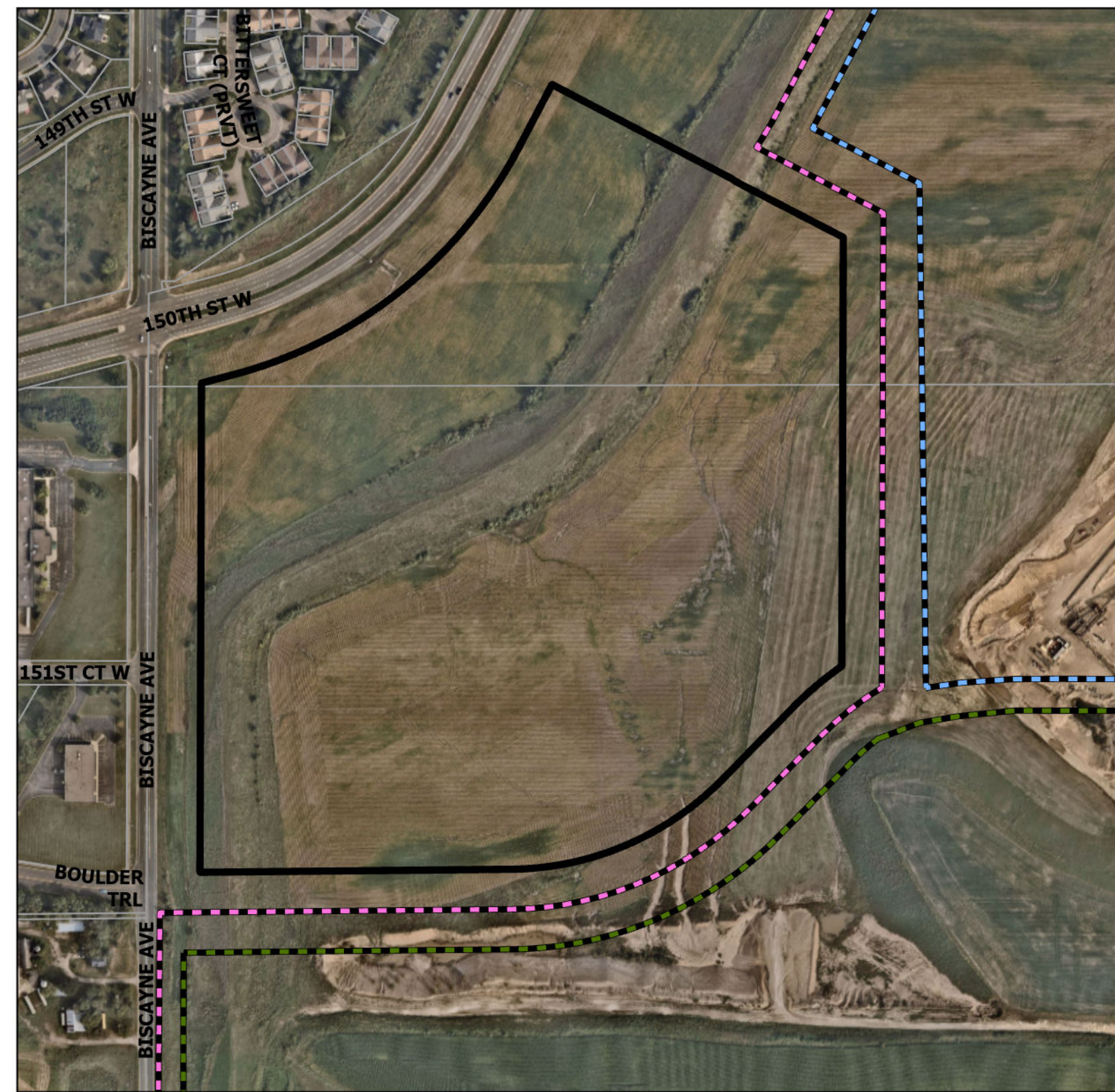
RECOMMENDATION

Staff is recommending approval of two amendments to the City's Comprehensive Land Use Map to expand the boundaries of the Metropolitan Urban Service Area (MUSA).





Current MUSA



Proposed MUSA

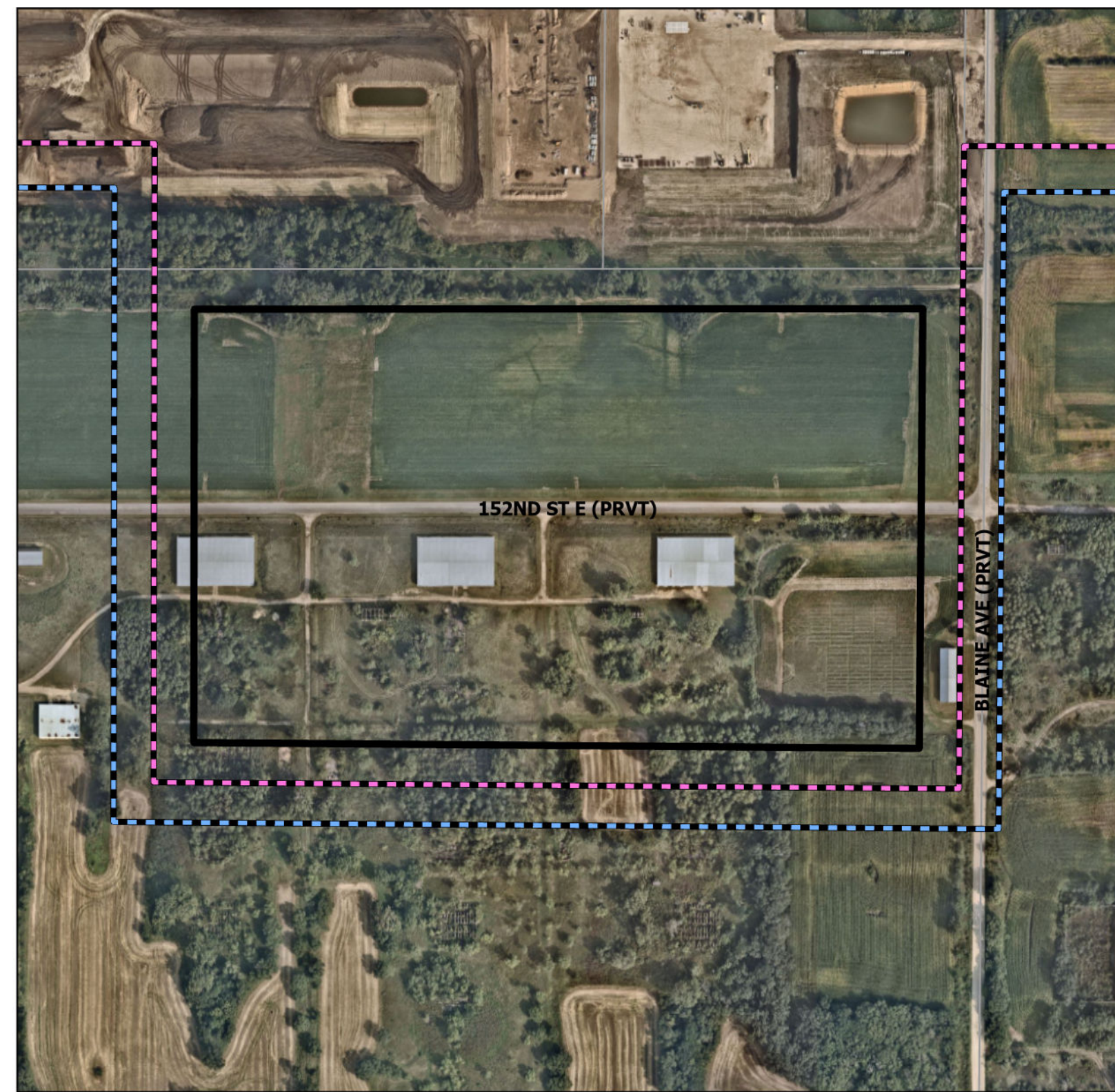


- Metropolitan Urban Service Area
- 2030 MUSA
 - 2040 MUSA
 - 2040+ MUSA
 - Development Site





Current MUSA



Proposed MUSA

Planning Commission Regular Meeting: October 22, 2024

Tenative City Council Meeting: November 19, 2024

AGENDA ITEM: Zoning ordinance text amendments to Title 11 of the Rosemount City Code and revisions to the City of Rosemount's Zoning Map.	AGENDA SECTION: PUBLIC HEARINGS
PREPARED BY: Julia Hogan, Planner	AGENDA NO. 6.b.
ATTACHMENTS: Zoning Map Amendments	APPROVED BY: AK
RECOMMENDED ACTION: Motion to recommend the City Council approve the Text Amendments amending Sections 11-3-4: Site Dimensions, 11-4-4: Site Dimensions, 11-4-5: District Standards, 11-6-3: Principal Uses, Commercial, Section 11-7-2: Architectural Standards, 11-7-6: Landscaping, Screening, and Buffering Standards of the Rosemount Zoning Code. Motion to recommend the City Council approve the recommended corrections to the City of Rosemount's Zoning Map.	

BACKGROUND

SUMMARY

In fall 2022, the City of Rosemount started the process of updating the City's Zoning Code and Map. The Zoning Code and Map update project was done to ensure consistency between the code and the 2040 Comprehensive Plan. The intent of the update was to address the aspects of the zoning code that were in conflict with the 2040 Comprehensive Plan or have not been updated to address current development market trends and changes. The city also wanted to make the Zoning Code easier to understand and more user-friendly. Some of the key highlights of the zoning code update and reorganization included the reduction of the number of zoning districts from 21 to 13, reducing zoning district chapters from 96 pages down to 8 tables and 5–6 pages, adding a new chapter focused on use specific standards so they are easier to find, streamlined zoning districts by reorganizing allowed uses and dimensional standards into tables and relocating other standards to more appropriate sections.

The updated Zoning Code proposal went before the Planning Commission on March 18, 2024, and the updated Zoning Map proposal went before the Commission on May 28, 2024. The Planning Commission recommended approval for both the Zoning Code and Map. The Updated Zoning Code and Map proposal went before the City Council on June 4, 2024, and both items were approved for adoption at that meeting.

Since the adoption of the updated zoning code and map, staff have identified areas that were missed during the update. The proposed text and map amendments are to correct what staff found to either

have been missed or wrongfully changed. Staff is recommending approval of the zoning ordinance text amendments to Title 11 of the Rosemount City Code and revisions to the Rosemount Zoning Map.

BACKGROUND

Legal Authority

Text amendments are considered as legislative actions. In such cases, the City has a fair amount of discretion in its deliberations and final decision as long as the decision is not arbitrary or capricious and the City develops reasonable findings to support its action.

TEXT AMENDMENTS

Staff identified areas within the code that were either not changed during the update or that were missed during the review period of the update. Some of these areas include:

- Minimum side yard setback for 2-story structures on parcels that are located in the R-1 zoning district that were platted prior to 1979.
- Minimum side yard setback for accessory structures in the R-1 and R-2 zoning districts.
- Minimum building size of 10% of the property for parcels in the I-1 district.
- Allowing for animal daycare centers with overnight boarding within the B-2 district to be located on properties less than five acres in size.
- Allowing for additional types of roofing materials on properties located within the Agricultural and Residential zoning districts.
- Changing the minimum landscaping requirement for multi-unit residential sites from one overstory or coniferous tree per 1,000 square feet of land area to one overstory or coniferous tree per 1,500 square feet of pervious land area.

Below are the proposed amendments to sections 11-3-4: Site Dimensions, 11-4-4: Site Dimensions, 11-4-5: District Standards, 11-6-3: Principal Uses, Commercial, 11-7-2: Architectural Standards, 11-7-6: Landscaping, Screening, and Buffering Standards

Section 11-3-4: Site Dimensions – Table 3.4 Agricultural and Residential Site Dimensions – Principal Structures:

District	Minimum Yard Setbacks (feet)			Maximum Building Height (feet)	Maximum Lot Coverage
	Front	Side	Rear		
A-1	50'	30'	30'	50'	None
A-2	50'	30'	30'	50'	None
RR	40'	30'	30'	35'	30%
R-1	25'	7.5' ¹	30'	35'	35%
R-2	25'	7.5' single- and two- unit 30' multi- unit	30'	35'	40% single unit detached 70% single unit attached 30% 2-unit
R-3	25'	30'	30'	35'	75%
R-4	25'	30'	30'	4 stories not to exceed 48'	75%

¹ Parcels in the R-1 district platted prior to 1979 shall meet the following minimum setbacks: 5' for a single-story structure and ~~10'~~ 7.5' for a 2-story structure.

Section 11-3-4: Site Dimensions – Table 3.5. Agricultural and Residential Site Dimensions – Accessory Structures:

District	Minimum Yard Setbacks (feet)			Maximum Building Height (feet)
	Front	Side	Rear	
A-1	50	30	30	75
A-2	50	30	30	75
RR	40	30	30	35
R-1	30	10-7.5	Structures 120 sf or less: 5' Structures greater than 120 sf: 30'	18
R-2	30	10-7.5	Structures 120 sf or less: 5' Structures greater than 120 sf: 30'	18
R-3	30	10	10	18
R-4	40	10	10	18

Section 11-4-4: Site Dimensions - Table 4.4 Non-Residential Dimensions:

District	Minimum Setbacks (ft.)			Maximum Building Height (ft.)	Maximum Lot Coverage
	Front	Side	Rear		
MX-1	None ¹	None ¹	None ¹	4 stories not to exceed 48'	90%
MX-2	30'	10'	10'	35'	75%
B-1	30'	10'	10'	35'	75%
B-2	30'	10'	10'	50'	75%
I-1	75'	50'	50'	50'	70%
I-2 ²	150'	150'	150'	75'	70%
PI	30'	30'	30'	50'	70%

¹ A 10 foot buffer yard is required adjacent to any residential district.

² Minimum building size of 10% of property will be a standard in the I-2I-1 district.

Section 11-4-5: District Standards:

D. I-2 Heavy Industrial District:

1. The minimum district size for the I-2 District is twenty-five (25) acres.
2. ~~Minimum Building Size: Ten percent (10%) of the subject property, excluding protective wetlands and bluff impact zones.~~
3. All principal and accessory uses allowed within the I-2 District, except those with specific exemptions, shall comply with the development standards outlined in this chapter for the I-1 General Industrial District. The City Council may choose to waive some or all of these development standards for nonexempt uses after review. (Ord. 2024-04, 6-4-2024)

Section 11-6-3: Principal Uses, Commercial:

B. Animal Boarding, Kennel, Or Daycare Center:

1. Any site used for overnight animal boarding or kennel shall not be less than five (5) acres in

size. ~~Animal daycare centers may be located on properties smaller than five (5) acres.~~ **Animal daycare centers, which may include overnight boarding, within the B-2 – Employment District may be located on properties smaller than five(5) acres.**

2. All structures used in conjunction with overnight animal boarding, including outdoor dog runs, shall be located a minimum of five hundred (500) feet from adjacent residential structures and seventy-five (75) feet from residential property lines. Animal daycare centers shall be exempt from this requirement.

3. All commercial kennels shall be licensed by the State of Minnesota Board of Animal Health.

4. The maximum number of animals shall not exceed the space provided in accordance with the requirements of the State of Minnesota Board of Animal Health.

5. Subject to the regulations regarding the care and keeping of animals within the city contained in title 7, chapter 4 of this code.

6. In the RR District, no outdoor keeping of animals or dog runs shall be permitted.

Section 11-7-2: Architectural Standards:

E. Roofs in the agricultural and residential districts shall have the following minimum standards:

1. In the A-1, A-2, and RR districts, the main roofs shall have a minimum pitch of five to twelve (5:12) per definition of the applicable building code.

2. In the R-1 district, the main roofs shall have a minimum pitch of three to twelve (3:12) per definition of the applicable building code.

3. ~~Roofs shall be shingled with asphalt, wood, tiles, sod or other comparable materials as approved by the applicable building code. (Ord. 2024-04, 6-4-2024)~~

3. Roofing materials shall consist of either asphalt, wood, tiles, sod, standing seam metal or other comparable materials as approved by the applicable building code.

Section 11-7-6: Landscaping, Screening, and Buffering Standards:

A. Landscaping

2. Required Tree and Foundation Plantings

b. All multi-unit residential, mixed-use, and non-residential uses:

~~(1) Each multi-unit residential site shall provide a minimum of one (1) overstory or coniferous tree per one thousand (1,000) square feet of land area. Spacing between the trees shall be a maximum of fifty (50) feet along the perimeter of the site adjacent to any roadway.~~

(1) Each multi-unit residential site shall provide a minimum of one (1) overstory or coniferous tree per one thousand five hundred (1,500) square feet of pervious land area, excluding areas below the normal water line of ponding and areas within easements containing infrastructure. Spacing between the trees shall be a maximum of fifty (50) feet along the perimeter of the site adjacent to any roadway.

MAP AMENDMENTS

The zoning districts were consolidated from 21 to 13 to help simplify the code and eliminate district types that were not being used. The zoning districts that were created included more consistent naming as to what was previously used. Staff identified areas on the map that were incorrectly changed. The areas identified are all located in the eastern portion of the city with a majority of it located around US Highway 52 and CSAH 42. A map exhibit showing the current zoning and the proposed zoning is included as an attachment.

Approximately 117 acres of land in the southeast quadrant of US Highway 52 and CSAH 42 is currently shown to be zoned MX-2 – Highway Mixed Use District. Though this area is guided for RC - Regional Commercial, which MX-2 is a zoning district under that land use, it should still be zoned Agricultural as it previously was. On the previous zoning map, it was zoned AG – Agricultural and was not intended to change zoning districts with the update of the map. The City does not typically rezone properties unless an applicant comes forward with a rezoning application for a specific property for development.

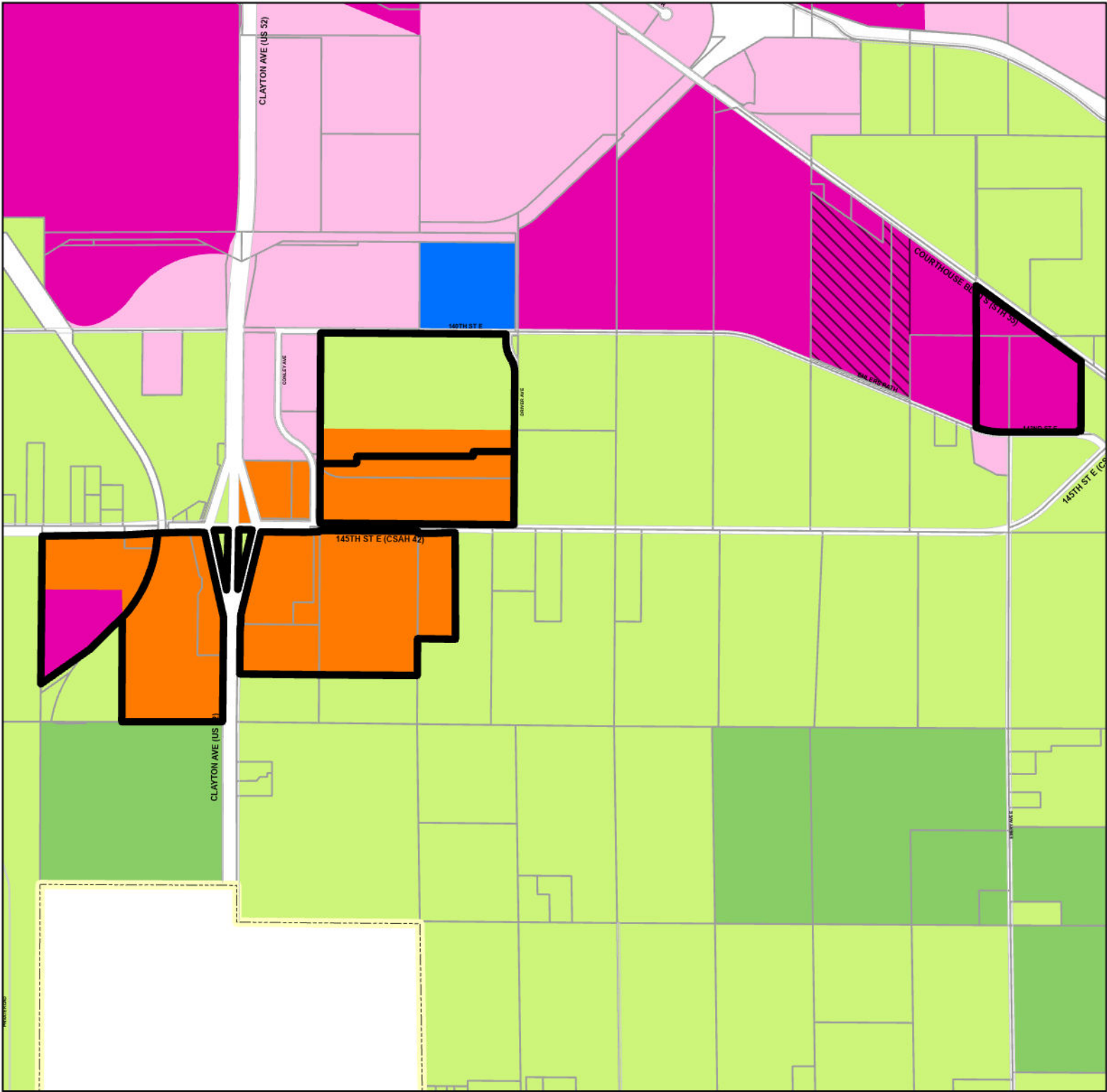
This is the same case for approximately 68 acres in the southwest quadrant of US Highway 52 and CSAH 42. The northern 25 acres directly west of that 68 acres should also not have been changed to MX-2 – Mixed Use District as it is currently part of a crane and heavy haul business and should be zoned I-2 – Heavy Industrial. The 20 acres directly south are zoned with the correct I-2 zoning.

75 acres of the FedEx distribution center site are shown to be zoned A-2 – Agricultural on the current map. This site should be zoned I-1 – General Industrial District as the current use on site would not be allowed within the A-2 zoning district and the site was rezoned to General Industrial when the distribution center project came forward to the city in 2021. About 20 acres of the FedEx site are shown to be zoned MX-2 – Mixed Use District which will need to be changed to I-1 – General Industrial as well. The 50 acres south of the FedEx site are shown to be zoned MX-2. This area was previously zoned Agricultural and was intended to continue as Agricultural with the update of the map. The land use of this area was changed to BP – Business Park back in 2021, but the zoning of the area was to remain agricultural until development occurred.

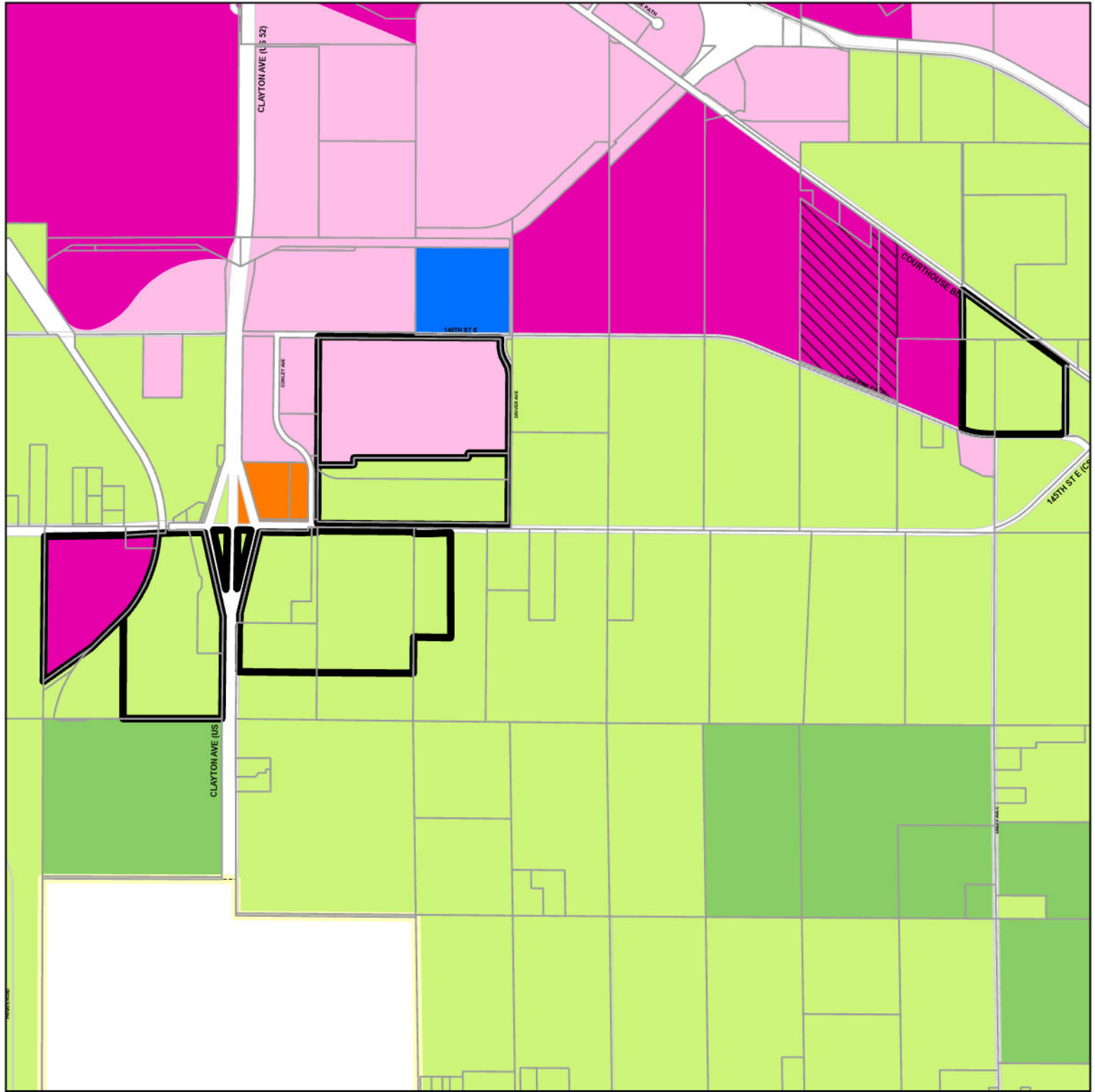
Approximately 46 acres of land owned by SKB Environmental is shown to be zoned I-2 – Heavy Industrial but should be shown as A-2 – Agricultural. SKB Environmental extended their operations southeast in 2022 and rezoned some of their land to Heavy Industrial to accommodate that expansion. On the updated zoning map, it shows the extension of the Heavy Industrial zoning too far east. The 46 acres will need to be changed back to agricultural as it was not apart of the rezoning of the land in 2022.

RECOMMENDATION

Staff is recommending that the Planning Commission recommend approval of the amendments to sections 11-3-4: Site Dimensions, 11-4-4: Site Dimensions, 11-4-5: District Standards, 11-6-3: Principal Uses, Commercial, 11-7-2: Architectural Standards, 11-7-6: Landscaping, Screening, and Buffering Standards stated in this report and amendments to the zoning map outlined in this report and the attached zoning map exhibit.



Current Zoning



Proposed Zoning



Zoning in Map Extent

- A-1 - Agricultural Preserve District
- A-2 - Agricultural District
- I-1 - General Industrial District
- I-2 - Heavy Industrial District

- MX-2 - Highway Mixed Use District
- PI - Public and Institutional District
- Right-of-Way

- Parcels of Interest
- Planned Unit Development
- Parcels



Planning Commission Regular Meeting: October 22, 2024

Tentative City Council Meeting: The action taken tonight does not require Council Action.

AGENDA ITEM:	Request by DevCo Preservation, LLC, for PUD Final Site and Building Plan Approval.	AGENDA SECTION:	PUBLIC HEARINGS
PREPARED BY:	Anthony Nemcek , Senior Planner	AGENDA NO.	6.c.
ATTACHMENTS:	Site Location, Land Use, Zoning, Architectural Site Plan, Civil Site Plan, Architectural Plans, Preliminary Landscape Plan, Utility Plan, Lighting Plan and Photometric Study, Engineer's Memo Dated October 17, 2024	APPROVED BY:	AK
RECOMMENDED ACTION: Motion to approve the Planned Unit Development Final Site and Building Plan allowing DevCo Preservation LLC to construct a multi-unit residential development, subject to the following conditions: a. Approval of a zoning ordinance text amendment to Section 11-7-6: Landscaping, Screening, and Buffering Standards. b. Submittal of a landscaping surety equal to 110% of the cost of trees based on \$350 per tree. c. Conformance with all requirements of the City Engineer detailed in the attached memorandum dated October 17, 2024. d. Approval of a final plat to convert the outlot into a buildable lot. e. Approval by Council of a minor amendment to the Emerald Isle PUD to waive requirement for an additional 10' of setback from Connemara Trail. f. A sign permit is required for any site signage.			

BACKGROUND

The City received an application for approval of a Planned Unit Development (PUD) Final Site and Building Plan from Devco Preservation, LLC in order to construct a 192-unit apartment complex on a 9.81-acre parcel approximately .4 miles east of Akron Avenue between CSAH 42 and Connemara Trail.

The subject property is designated for High Density Residential land uses and is within the R-4 High Density Residential zoning district. Staff finds the development plans to be in conformance with the zoning ordinance and comprehensive plan, except for a code provision requiring an additional setback from Connemara to allow for a planting strip, and staff is therefore recommending approval of the site plan subject to the conditions listed in the recommended action.

Owner

BND, LLC.

Applicant

DevCo Preservation, LLC.

Site Area	9.81 acres
Site Density	19.57 units per acre
Current Zoning	R-4 High Density Residential
Comp Plan Land Use Designation	HDR High Density Residential

Surrounding Land Uses

North: Low Density Residential

West: Public Institutional

South: Public Institutional

East: Community Commercial

ISSUE

Legal Authority

Approval of the Planned Unit Development Final Site and Building Plan is also a quasi-judicial decision, in that if the proposed development adheres to the standards of the Master Development Plan it must be approved.

Planned Unit Development

The subject property is a part of the Emerald Isle Planned Unit Development that was approved by the City Council in 2020. The Master Development Plan included several deviations from R1-Low Density Residential zoning district standards, such as setback reductions and maximum lot coverage. The Master Development Plan does not include any provisions related to the development of the subject parcel. The applicant is requesting a minor amendment to the Emerald Isle PUD to waive the requirement for an additional 10' setback from Connemara Trail. This provision is to allow space for earthen berms, buffer yards, or planting strips. Given the site is constrained by a gas pipeline easement that bisects the site, severely limiting how it can be developed, and the fact the applicant's landscape plan shows evenly-spaced trees both within the boulevard and between the right of way and the building, staff is supportive of such a deviation.

Land Use and Zoning

In 2020, Ryan Real Estate received approval to develop the Emerald Isle neighborhood immediately north of the subject parcel. The approvals granted during that process included a comprehensive land use plan amendment that changed the land use designation of the subject property from CC-Community Commercial to HDR-High Density Residential. The subject parcel was also rezoned into conformance with its new land use designation. Multi-unit residential is an allowed use in the HDR land use designation and permitted by the R-4 High Density Residential zoning district.

Site Layout

The proposed site plan consists of two buildings within a single parcel. The site is bisected by a gas pipeline easement. The two buildings will be located on the northern portion of the site and share common parking and community amenities. One of the buildings is configured in an L shape, while the other is rectangular. South of the pipeline easement, the applicant is proposing guest parking and outdoor amenities that will be accessed via two drive lanes the applicant has received permission from the easement owner for. The southernmost portion of the site, adjacent to CSAH 42, will be used for stormwater ponding.

Dimensional Standards

The plans provided by the applicant show the development meets the standards of the R4 zoning district with the exception of one provision, for which the applicant is requesting a deviation from the code. Because Connemara Trail is classified as a collector street, the setback for principal structures is increased by 10' to provide space for earthen berms, buffer yards, or planting strips. The dimensional standards are shown in the table below.

Category	Standard	Proposed
Front (North) Setback	25' + 10'	25'
Side (West) Setback	30'	30'
Side (East) Setback	30'	30'
Rear (South) Setback	30' + 20'	160'
Parking Side (West)	10'	65'
Parking Side (East)	10'	n/a
Parking Front (North)	30'	100'
Parking Rear (South)	30'	129'
Maximum Lot Coverage	75%	57.85%
Maximum Building Height	4 stories or 48'	45'

Unit Mix

The unit mix is generally the same between both buildings. Each building will contain 96 units, with 25% having one bedroom, 50% having 2 bedrooms, and 25% having 3 bedrooms. Building A will have 4 two-bedroom units with a slightly larger square footage than the others.

Exterior Materials and Massing

The applicant's submittal includes color building elevations, which are attached to this report. The materials used will be a mix of lap siding and board and batten, both consisting of fiber cement. The selected materials are complementary to those used in lower-density residential neighborhoods, as is the hipped roof featuring gables placed regularly along the facade. The buildings will feature balconies aligned vertically which help to break up the horizontal elevation and create interest. Staff finds the materials and massing to comply with the requirements of the zoning ordinance.

Landscaping

With the recent zoning code update, the landscaping requirement in the R-4 zoning district was changed from a minimum of 8 trees and one per unit frontage to one tree per 1,000 square feet of site area. In this case, based on the site area of 427,323 square feet, 428 trees would be required on site.

This amount is in addition to any parking lot landscaping. This is an unrealistic requirement. Staff worked with the applicant and consulted the team that helped with the zoning code update to identify a better standard that can be met by developers of multi-unit residential projects. Staff is

recommending a standard of 1 tree per 1,500 square feet of pervious area (excluding areas within easements containing infrastructure and within the normal water level of ponding areas). The applicant has provided a preliminary landscape plan that, when calculated excluding the gas pipeline easement and area below the normal water level of the pond, has a ratio of 1 tree per 942 square feet of pervious area. Staff finds the landscape plan to be too crowded even at that ratio, which is driving the recommendation for a ratio of one tree per 1,500 square feet. This results in a requirement of 89 trees plus the required 37 trees within the parking lot area. The previous standard would have required over 200 trees, and a general ratio of 1 per 3,000, as is standard in other non-residential zoning districts, would require 142 trees for this site.

The landscaping plan also includes foundation planting and parking lot landscaping. The parking lot landscaping requirement is based on a ration of one tree per 10 parking spaces. With 363 spaces, staff calculates a need for 37 trees. The applicant's plan should be updated to provide an additional tree in the parking lot area. Also, as required by the zoning ordinance, trees are shown along public rights of way at 50' intervals.

	Code Requirement	Proposed Ratio	Provided
Trees	1 per 1,000 sf site area (428 trees)	1 per 1,500 sf pervious (excluding easement and pond) 89 trees	141 trees
Foundation Plantings	211 (1 per 10 linear feet of building perimeter)	n/a	1,345 foundation plantings

Parking Lot Landscaping Requirement	Parking Lot Landscaping Provided
37 trees (1 per 10 parking spaces @ 363 spaces)	36 trees

As provided, the landscaping plan meets the standard being proposed by staff as an amendment to the zoning ordinance text, as crowded as it is. Staff will continue to work with the applicant to dial in their final landscaping plan to ensure it is reasonable and provides use of the site while still meeting the proposed zoning code standard. A condition of approval included with the recommended action is the adoption of a zoning ordinance text amendment related to landscaping. Lastly, the Code requires the submittal of a landscaping surety equal to 110% of the cost of landscaping based on a value of \$350/tree. Staff will determine the actual amount of the surety once the final number of trees to be planted is determined.

Park Dedication

Park dedication is only required during the platting process. Therefore, this section is informational only as the City Council will be reviewing the final plat at a subsequent meeting and requiring park dedication as part of a subdivision agreement. The proposed development has been reviewed by the

City's parks and recreation department for conformance with the City's adopted Master Plan. The City's Parks Master Plan does not call for a park in this area, so staff is recommending the City collect cash-in-lieu of land to meet the parks dedication requirements for the 192 units. The parks dedication requirement for 192 high density residential units is .02 acres of land per unit or \$2,500 per unit. The cash dedication for 192 units would be \$480,000 (192 units x \$2,500 per unit).

Access and Parking

Vehicular access into the site will be made via an entry point along Connemara Trail. This access is aligned with Acer Avenue on the north side of Connemara Trail.

The parking requirement for this project is 363 spaces. The previous zoning code required parking based on a ratio of 2 spaces per unit. The zoning code update changed the requirement to be based on the number of bedrooms. The zoning code requires 1.25 spaces for studios and one-bedroom units, 1.75 spaces for two-bedroom units, and 2 spaces for units with three or more bedrooms. An additional space for every five units is also required. The specific parking requirement for this site is detailed in the table below.

Unit Type	Requirement
One-Bedroom (48 units)	60 Spaces
Two-Bedroom (96 units)	168 Spaces
Three-Bedroom (48 Units)	96 Spaces
Additional Parking @ 1 per 5 units	39 Spaces
Total Required (Provided)	363 Spaces (364 Spaces Provided)

Pedestrian Circulation

The site plan provides sidewalks that allow for pedestrian access to Connemara Trail and surround the parking areas. Sidewalks also provide pedestrian access to the site amenities in the southern portion of the site. Not offsite improvements, such as a bituminous trail along Connemara, are required as it has already been installed with the extension of that road.

Signage

The site plan indicates an anticipated location for a monument sign near the entrance along Connemara Trail. As is always the case, signage will be approved administratively through the sign permitting process.

Site Lighting

The applicant provided a lighting plan with photometric analysis as part of their submittal. This is included in the attachments. The site will be lit with lights mounted on walls at 10' in height and on 25' poles, which are below the maximum of 30'. The code contains a provision that the maximum height is 20' within 100' of a residential use, and all poles are well over 100' from any adjacent residential uses.

Utilities and Stormwater Management

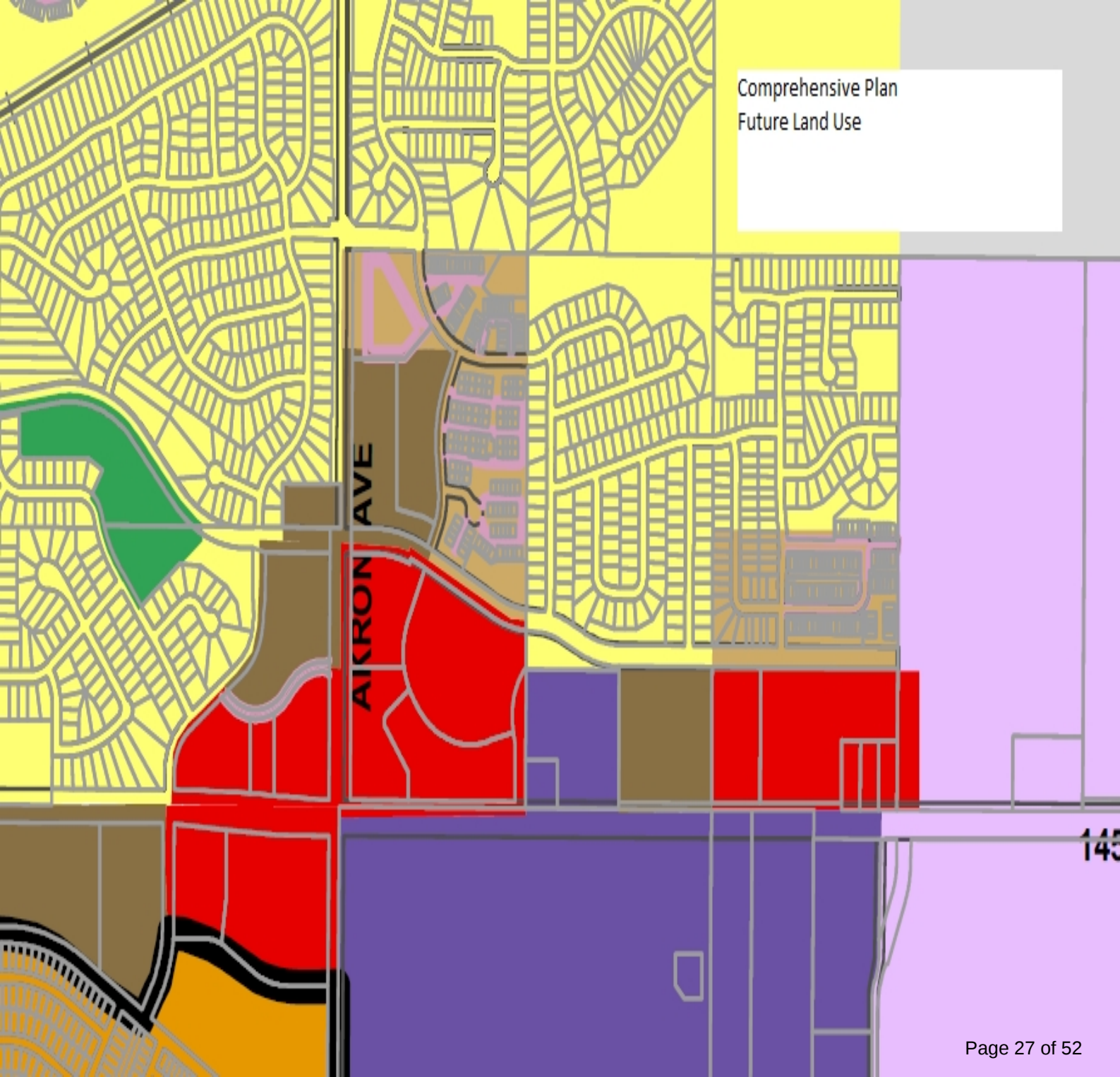
The site will connect to a City watermain within Connemara Trail, and sanitary sewer will connect to a existing sanitary in the CSAH 42 right of way near the southwest corner of the site. The site contains a large stormwater pond in the southern portion of the site that also collects water from CSAH 42. The City's engineer has reviewed the civil site plans and has provided a memorandum dated October 17, 2024 that is attached to this report.

RECOMMENDATION

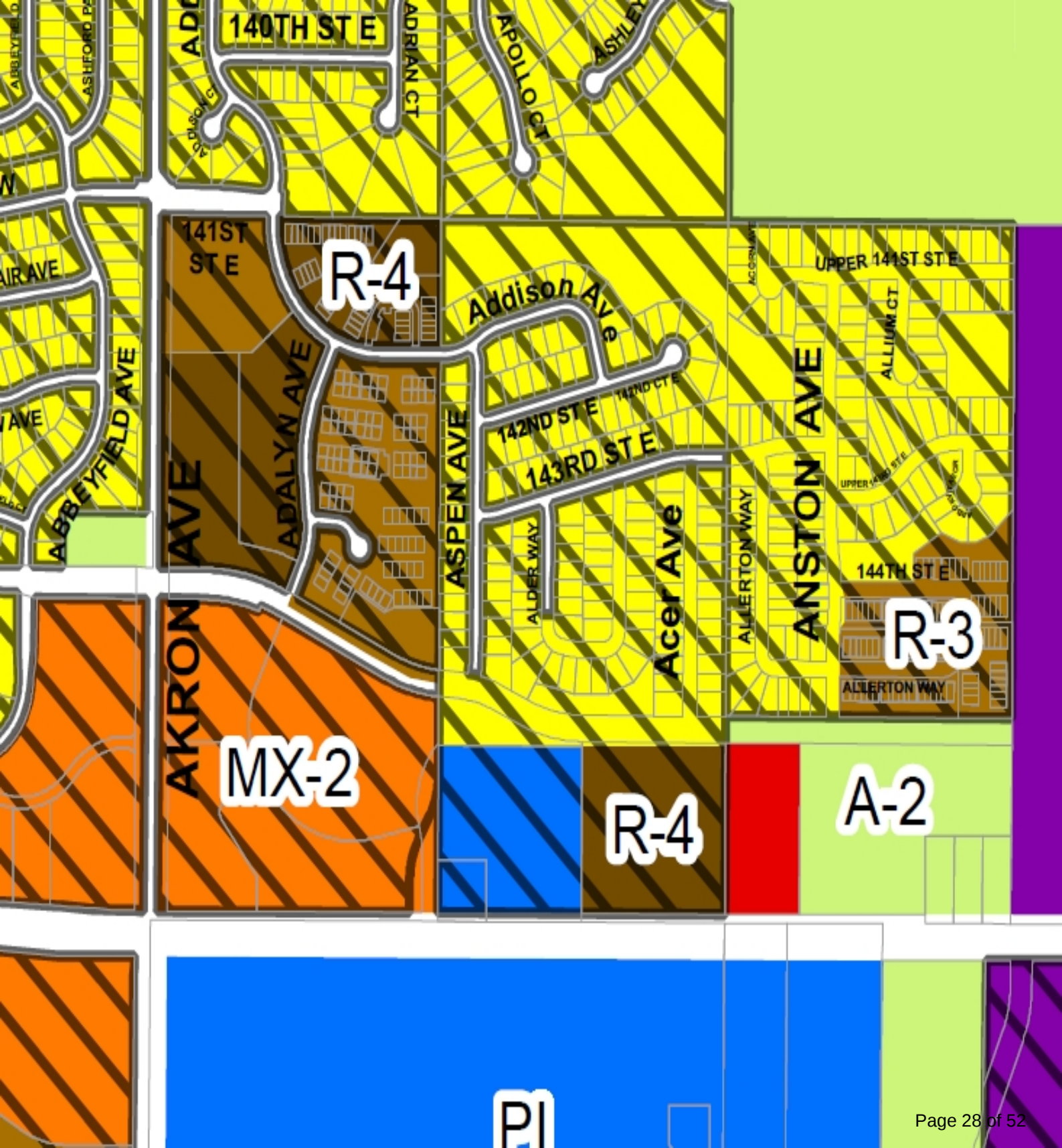
Staff is recommending approval of the PUD final site and building plan, subject to conditions listed in the recommended action at the top of this report. Of note, elsewhere on the meeting agenda, staff is asking the Planning Commission to consider a zoning ordinance text amendment to update the landscaping requirement for multi-unit residential developments. Staff's recommendation of approval of this final site and building plan is conditioned on the approval of the text amendment as well as a minor amendment to the Emerald Isle PUD by Council related to the additional setback requirement from Connemara Trail.

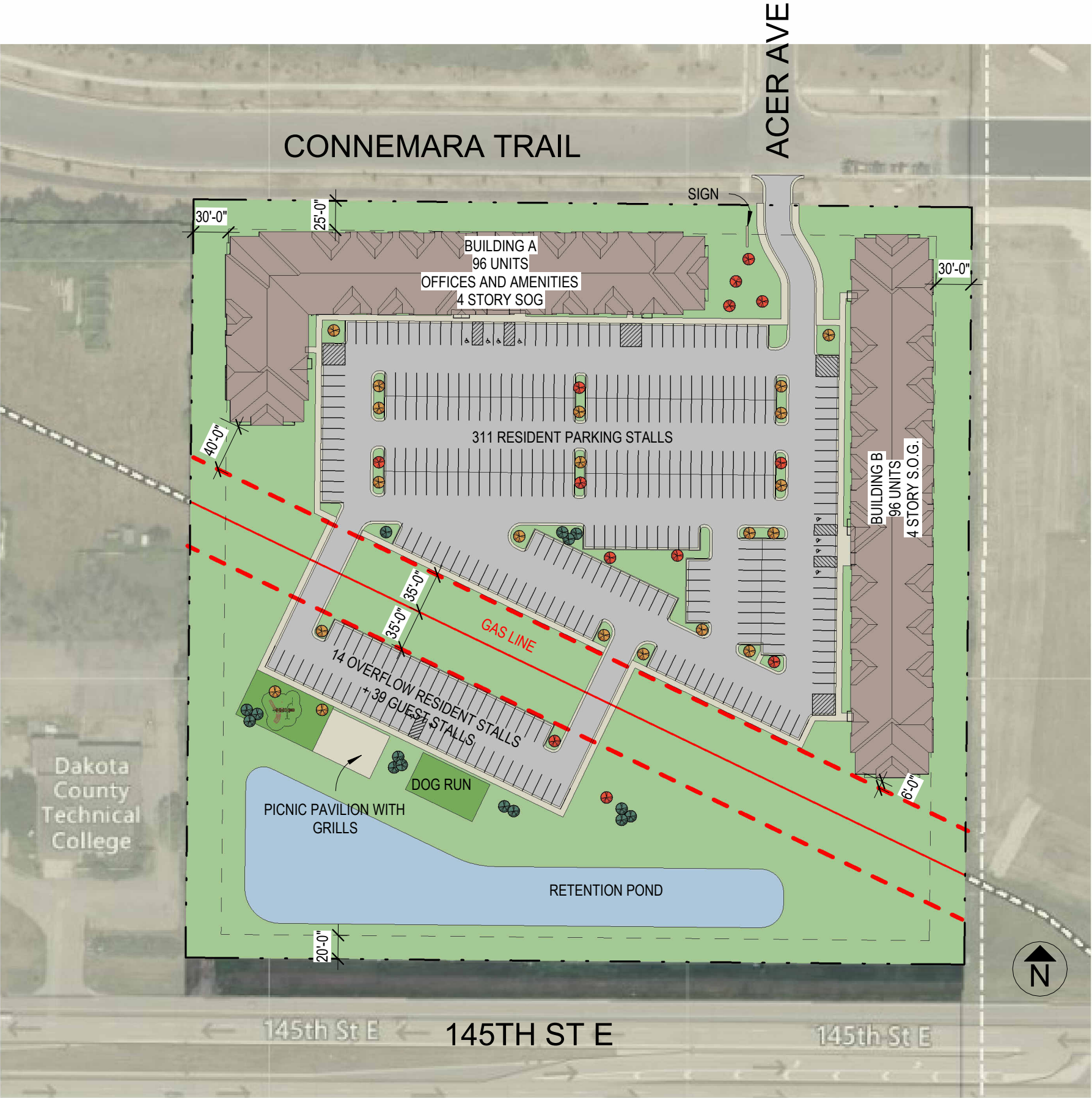


Comprehensive Plan
Future Land Use

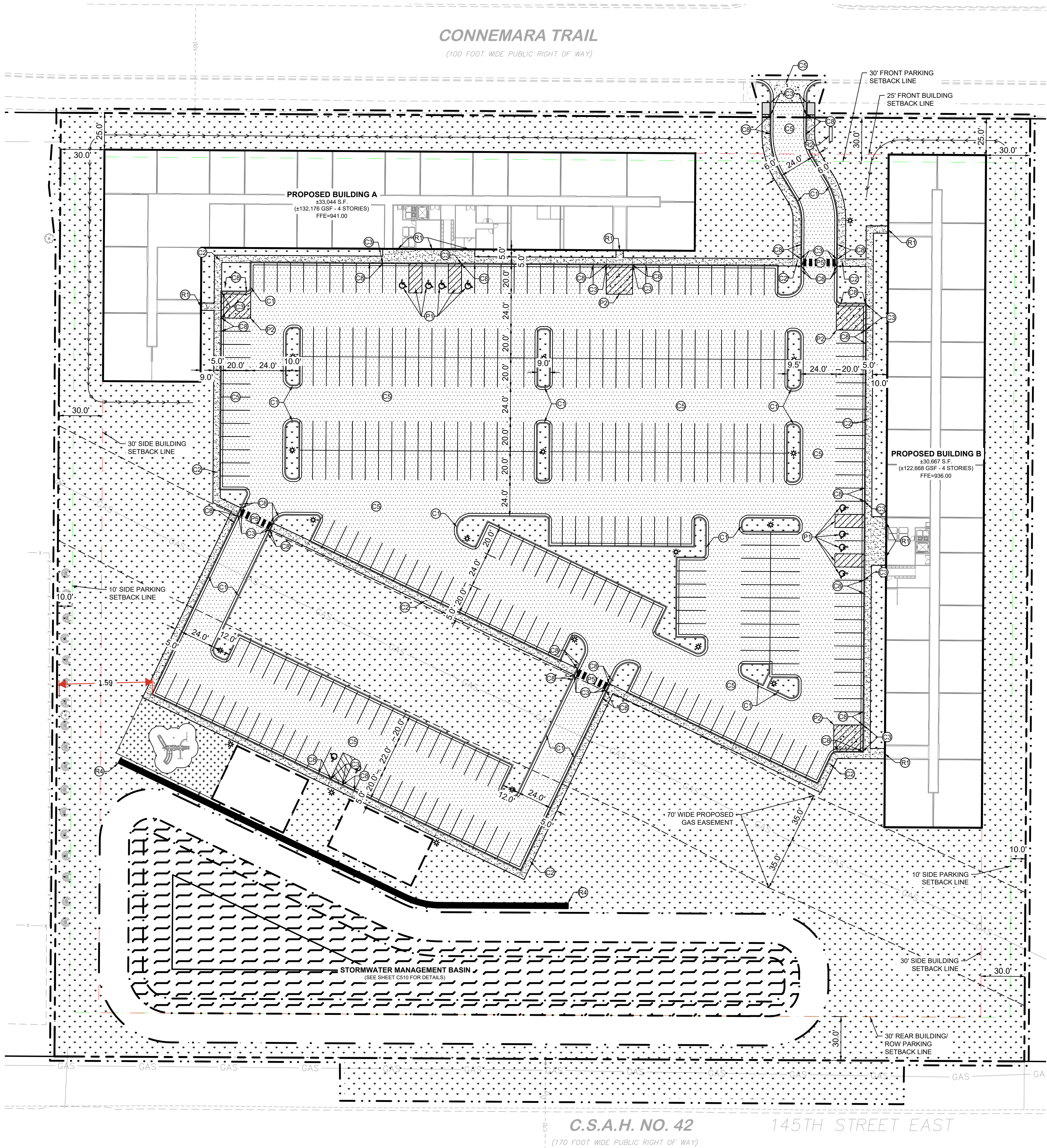


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① SD Site Plan
1" = 100'-0"



PROPERTY SUMMARY	
TOTAL PROPERTY AREA	9.815 AC / 427,524 SF
DISTURBED AREA	9.846 AC / 428,910 SF
EXISTING IMPERVIOUS AREA	0 AC / 0 SF / 0%
EXISTING PERVIOUS AREA	9.815 AC / 427,524 SF / 100%
PROPOSED IMPERVIOUS AREA	5.678 AC / 247,321 SF / 57.85%
PROPOSED PERVIOUS AREA	4.137 AC / 180,203 SF / 42.15%
NET INCREASE IN IMPERVIOUS AREA	5.678 AC / 247,321SF
AREA OF WETLAND IMPACT	0 AC / 0 SF

SITE DATA	
EXISTING ZONING	R4 - HIGH DENSITY RESIDENTIAL
PROPOSED ZONING	R4 - HIGH DENSITY RESIDENTIAL
PROPOSED LAND USE	MULTI-FAMILY RESIDENTIAL
PARKING SETBACKS	FRONT/RIGHT OF WAY = 30' SIDE/REAR = 10'
BUILDING SETBACKS	FRONT = 25' SIDE = 30' REAR = 30'

BUILDING DATA	
TOTAL BUILDING AREA	±63,711 SF
PERCENT OF TOTAL PROPERTY AREA	±14.9%

PARKING SUMMARY	
REQUIRED PARKING	363 SPACES 1.25 PER STUDIO / 1 BEDROOM UNIT (48 UNITS = 60 SPACES) 1.75 PER 2 BEDROOM UNIT (96 UNITS = 168 SPACES) 2 PER 3+ BEDROOM UNIT (48 UNITS = 96 SPACES) 1 ADDTL. SPACE PER 5 UNITS (192 TOTAL UNITS / 5 = 39 SPACES)
TOTAL PROPOSED PARKING	364 SPACES
REQUIRED ACCESSIBLE PARKING	8 STANDARD SPACES 2 VAN ACCESSIBLE
PROPOSED ACCESSIBLE PARKING	10 STANDARD SPACES 10 VAN ACCESSIBLE

LEGEND	
	PROPERTY LINE
	LIMITS OF DISTURBANCE (OFFSET FOR CLARITY)
	BUILDING SETBACK LINE
	PARKING SETBACK LINE
	DRAINAGE AND UTILITY EASEMENT
	PROPOSED VEGETATED DRAINAGE SWALE
	PROPOSED FENCE
	RETAINING WALL
	PROPOSED CURB AND GUTTER
	STANDARD DUTY ASPHALT PAVEMENT SEE DETAILS FOR SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE DETAILS FOR SECTION
	CONCRETE SIDEWALK SEE DETAILS FOR SECTION
	ASPHALT TRAIL SEE DETAILS FOR SECTION
	STORM WATER AREA SEE GRADING PLAN FOR DETAILS
	LANDSCAPE AREA SEE LANDSCAPE PLAN FOR DETAILS

- ### SITE PLAN NOTES
- REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF STOOPS, TRUCK DOCKS, TRASH ENCLOSURES & PRECISE BUILDING DIMENSIONS. REFER TO THE SITE ELECTRICAL PLAN FOR LOCATIONS OF PROPOSED LIGHT POLES, CONDUITS, AND ELECTRICAL EQUIPMENT.
 - REFER TO CERTIFIED SITE SURVEY OR PLAT FOR EXACT LOCATION OF EXISTING EASEMENTS, PROPERTY BOUNDARY DIMENSIONS, AND ADJACENT RIGHT-OF-WAY & PARCEL INFORMATION.
 - DIMENSIONS AND RADII ARE DRAWN TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT, AND AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING EXISTING SITE IMPROVEMENTS THAT CONFLICT WITH THE PROPOSED WORK, INCLUDING BUT NOT LIMITED TO TRAFFIC SIGNS, LIGHT POLES, ABOVEGROUND UTILITIES, ETC. PERFORM WORK IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS. COST SHALL BE INCLUDED IN BASE BID.
 - TYPICAL PARKING STALL DIMENSIONS SHALL BE 9.0-FEET IN WIDTH AND 20-FEET IN LENGTH UNLESS OTHERWISE INDICATED.
 - MONUMENT SIGN(S) ARE DETAILED ON THE ARCHITECTURAL PLANS AND ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIGN DIMENSIONS, LOCATION AND REQUIRED PERMITS WITH THE OWNER.

KEYNOTE LEGEND

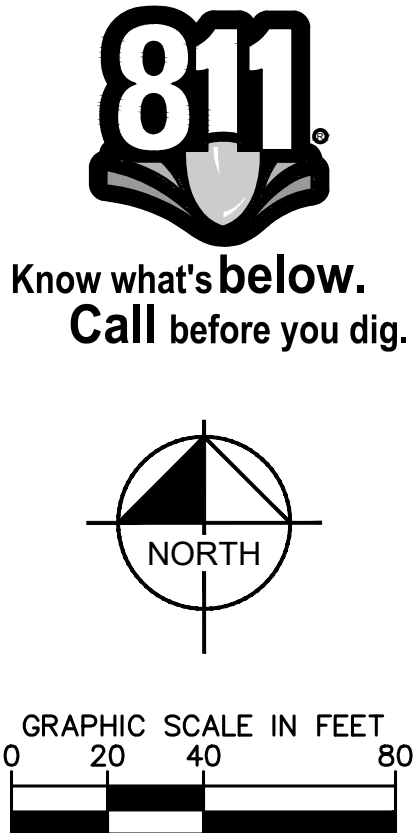
CURB, SIDEWALK & PAVEMENT	
(C1)	6" CONCRETE CURB & GUTTER (B612) - SEE DETAIL
(C2)	CONCRETE SIDEWALK - SEE DETAIL
(C3)	SIDEWALK FLUSH WITH PAVEMENT - SEE GRADING PLAN
(C4)	MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
(C5)	COMMERCIAL DRIVEWAY APRON - SEE DETAIL
(C6)	ACCESSIBLE CURB RAMP - SEE DETAIL
(C7)	INTEGRAL CONCRETE CURB / SIDEWALK - SEE DETAIL
(C8)	CURB TRANSITION FROM 6" TO FLUSH - SEE GRADING PLAN

SITE FIXTURES	
(F1)	CHAIN-LINK FENCE - SEE DETAIL
(F2)	CHAIN-LINK FENCE SWING GATE - SEE DETAIL
(F3)	6" CONCRETE FILLED PIPE BOLLARD - SEE DETAIL

PAVEMENT MARKINGS	
(P1)	ACCESSIBLE PARKING SYMBOL & LOADING AREA - SEE DETAIL
(P2)	STRIPED WHITE CROSS-HATCH AREA 4" SOLID LINES @ 45° 2' O.C.
(P3)	4" WIDE WHITE PAINTED SOLID PARKING LOT LINE
(P4)	PAINTED WHITE DIRECTIONAL ARROW - SEE DETAIL
(P5)	PAINTED WHITE CROSSWALK - SEE DETAIL
(P6)	24" WIDE PAINTED WHITE STOP BAR - SEE DETAIL

SIGNAGE	
(S1)	ADA PARKING SIGN IN BOLLARD - SEE DETAIL
(S2)	NO PARKING FIRE LANE SIGN - SEE DETAIL
(S3)	STOP SIGN - SEE DETAIL
(S4)	ONE WAY SIGN - SEE DETAIL
(S5)	DO NOT ENTER SIGN - SEE DETAIL

REFERENCE NOTES	
(R1)	AT-GRADE BUILDING ENTRY & STRUCTURAL STOOP - REFER TO ARCHITECTURAL & STRUCTURAL PLANS
(R2)	MONUMENT SIGN - REFER TO ARCHITECTURAL PLANS
(R3)	LIGHT POLE & BASE - REFER TO SITE ELECTRICAL PLAN
(R4)	RETAINING WALL (BY OTHERS) - REFER TO GRADING PLAN
(R5)	STAIRS AND HANDRAIL - REFER TO ARCHITECTURAL PLANS
(R6)	TRANSFORMER/EQUIPMENT PAD - REFER TO MEP PLANS
(R7)	TRASH ENCLOSURE - REFER TO ARCHITECTURAL PLANS



PRELIMINARY - NOT FOR CONSTRUCTION

KHA PROJECT 161218001	DATE 09/24/2024	SCALE AS SHOWN	DESIGNED BY CPH	DRAWN BY CPH	CHECKED BY BMW	MNI	SHEET NUMBER C400	ROSEMOUNT MULTI-FAMILY PREPARED FOR DEVCO	ROSEMOUNT	NO.	REVISIONS	DATE	BY

Kimley»Horn

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767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE 651-945-4197
WWW.KIMLEY-HORN.COM

DevCo-Rosemount-145th St. E Apartments

09/18/2024

Unit Mix by Floor - Building A		
Name	Count	Building
Level 1		
Unit 1-1	6	A
Unit 2-2	8	A
Unit 2-4	1	A
Unit 3-0	4	A
Unit 3-1	2	A
	21	
Level 2		
Unit 1-1	6	A
Unit 2-2	12	A
Unit 2-4	1	A
Unit 3-0	4	A
Unit 3-1	2	A
	25	
Level 3		
Unit 1-1	6	A
Unit 2-2	12	A
Unit 2-4	1	A
Unit 3-0	4	A
Unit 3-1	2	A
	25	
Level 4		
Unit 1-1	6	A
Unit 2-2	12	A
Unit 2-4	1	A
Unit 3-0	4	A
Unit 3-1	2	A
	25	
Grand total: 96	96	

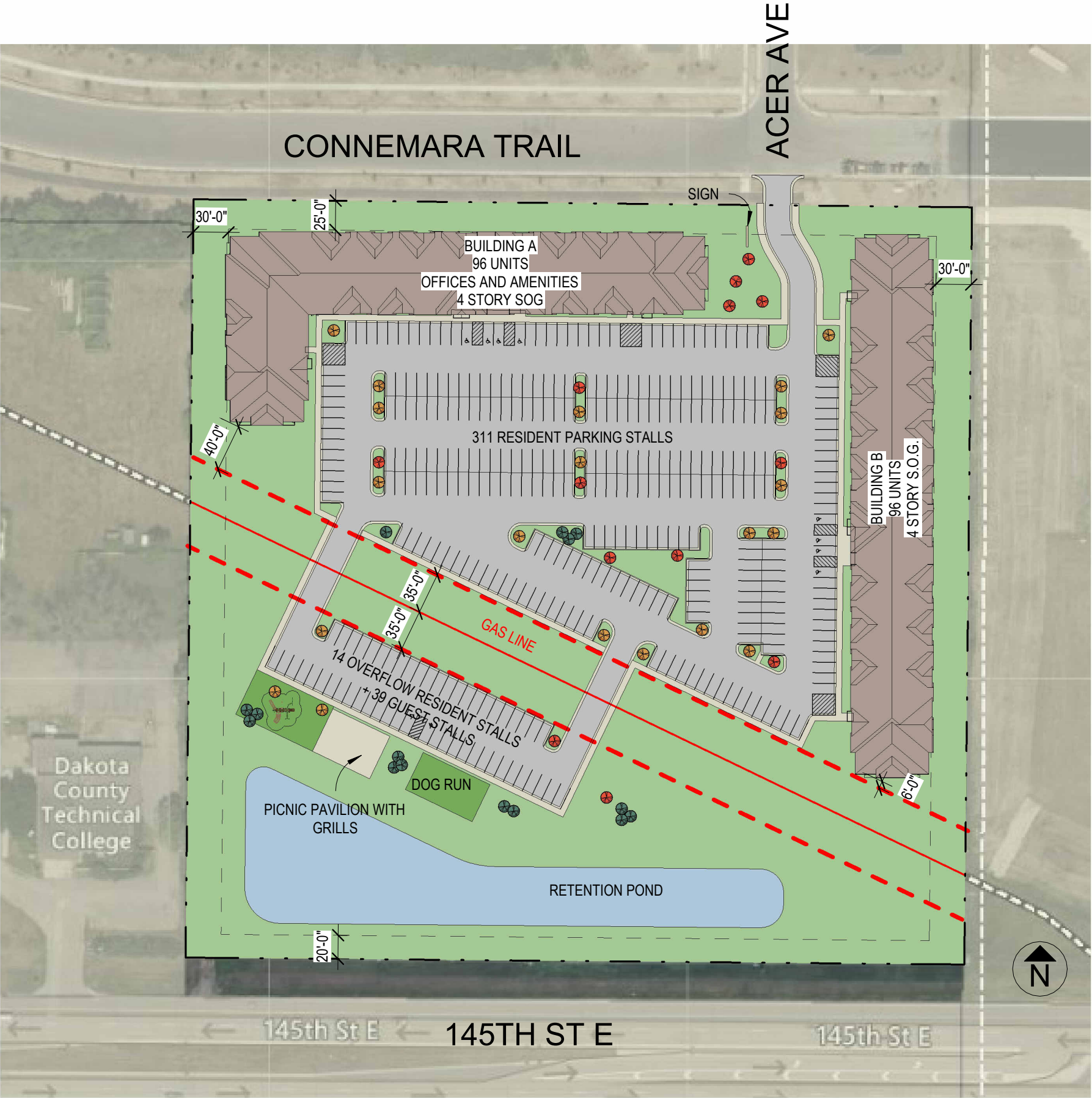
Unit Mix by Floor - Building B		
Name	Count	Building
Level 1		
Unit 1-1	6	B
Unit 2-2	12	B
Unit 3-0	4	B
Unit 3-1	2	B
	24	
Level 2		
Unit 1-1	6	B
Unit 2-2	12	B
Unit 3-0	4	B
Unit 3-1	2	B
	24	
Level 3		
Unit 1-1	6	B
Unit 2-2	12	B
Unit 3-0	4	B
Unit 3-1	2	B
	24	
Level 4		
Unit 1-1	6	B
Unit 2-2	12	B
Unit 3-0	4	B
Unit 3-1	2	B
	24	
Grand total: 96	96	

TOTAL GROSS AREA - BUILDING A		
Level	Area	Building
Level 4	31,944 ft²	A
Level 3	31,944 ft²	A
Level 2	31,944 ft²	A
Level 1	31,944 ft²	A
Grand total	127,775 ft²	

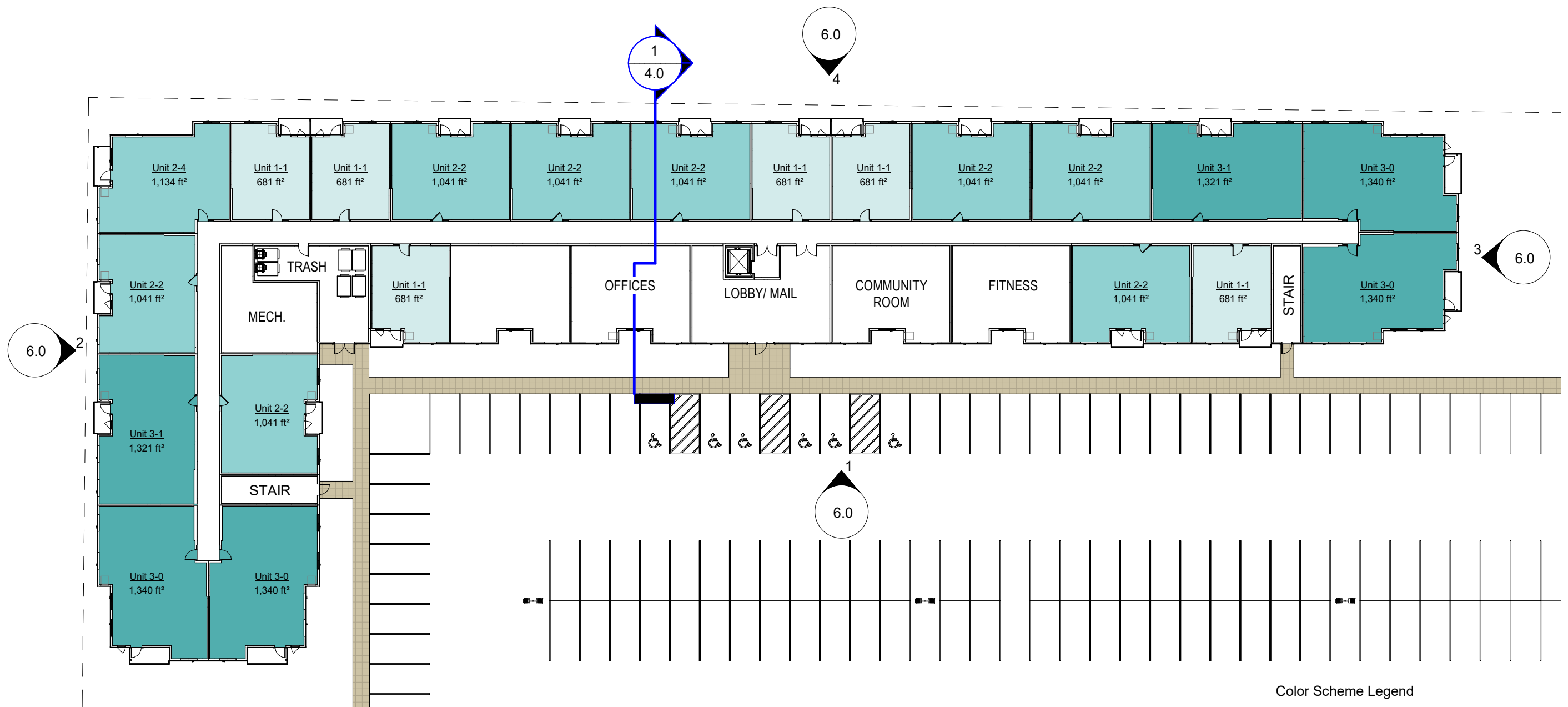
TOTAL GROSS AREA - BUILDING B		
Level	Area	Building
Level 4	29,253 ft²	B
Level 3	29,253 ft²	B
Level 2	29,253 ft²	B
Level 1	29,253 ft²	B
Grand total	117,013 ft²	

UNIT MIX - GROSS AREA - BUILDING A					
Name	Count	Unit Gross Area	Total Area	%	Building
		Main Floor			
1BR					
Unit 1-1	24	681 ft²	16,352 ft²	25%	A
	24		16,352 ft²	25%	
2BR					
Unit 2-2	44	1,041 ft²	45,819 ft²	46%	A
Unit 2-4	4	1,134 ft²	4,536 ft²	4%	A
	48		50,355 ft²	50%	
3BR					
Unit 3-0	16	1,340 ft²	21,440 ft²	17%	A
Unit 3-1	8	1,321 ft²	10,571 ft²	8%	A
	24		32,011 ft²	25%	
Grand total	96		98,717 ft²	100%	

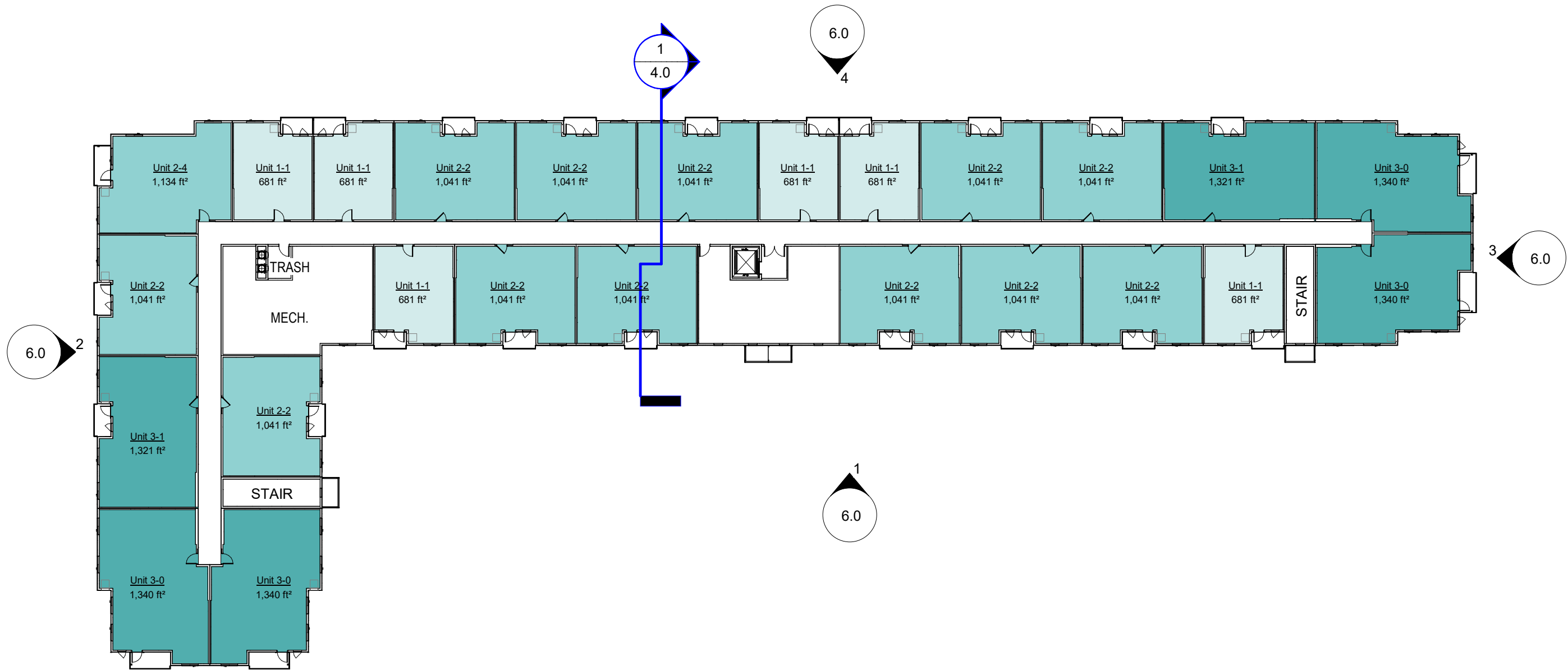
UNIT MIX - GROSS AREA - BUILDING B					
Name	Count	Unit Gross Area	Total Area	%	Building
		Main Floor			
1BR					
Unit 1-1	24	681 ft²	16,352 ft²	25%	B
	24		16,352 ft²	25%	
2BR					
Unit 2-2	48	1,041 ft²	49,984 ft²	50%	B
	48		49,984 ft²	50%	
3BR					
Unit 3-0	16	1,340 ft²	21,440 ft²	17%	B
Unit 3-1	8	1,321 ft²	10,571 ft²	8%	B
	24		32,011 ft²	25%	
Grand total	96		98,347 ft²	100%	



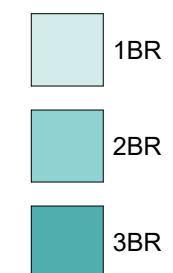
① SD Site Plan
1" = 100'-0"



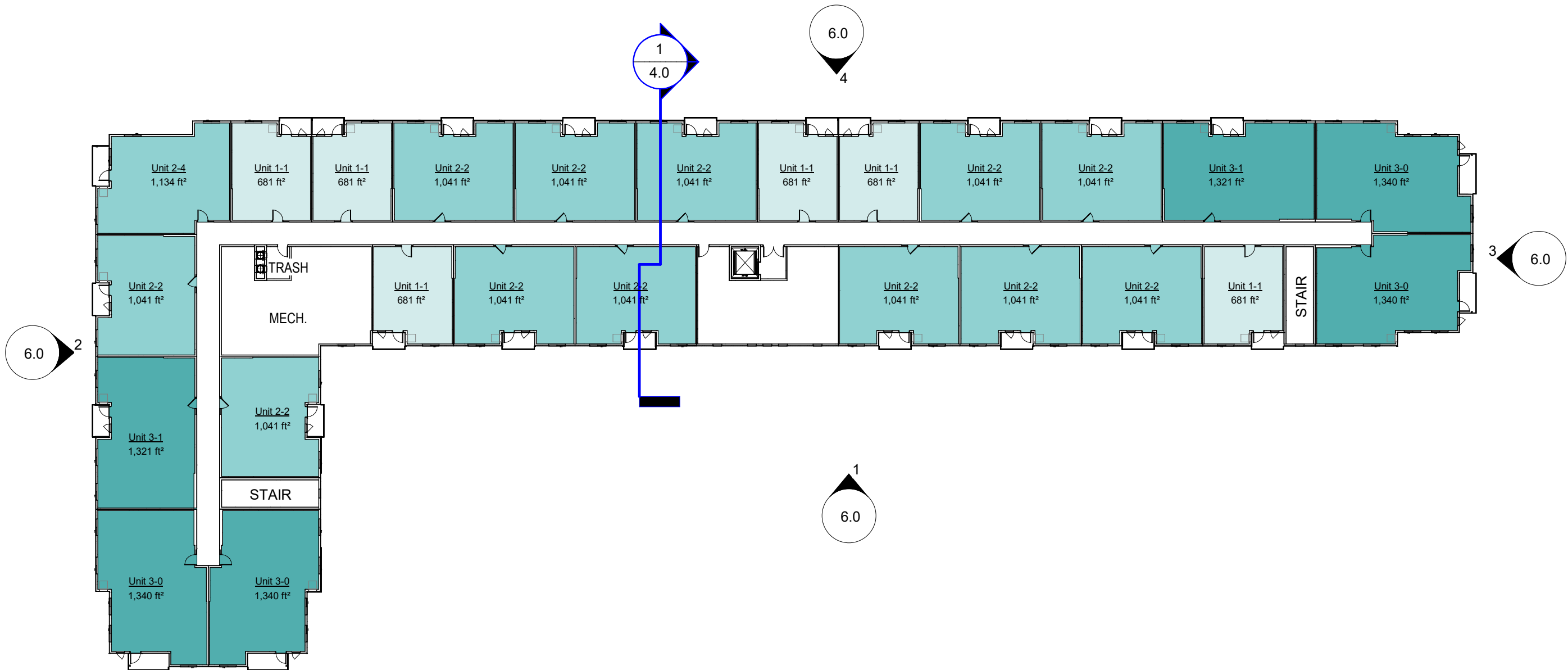
2 Building A - Level 1
1/32" = 1'-0"



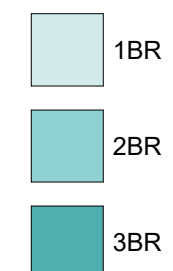
Color Scheme Legend



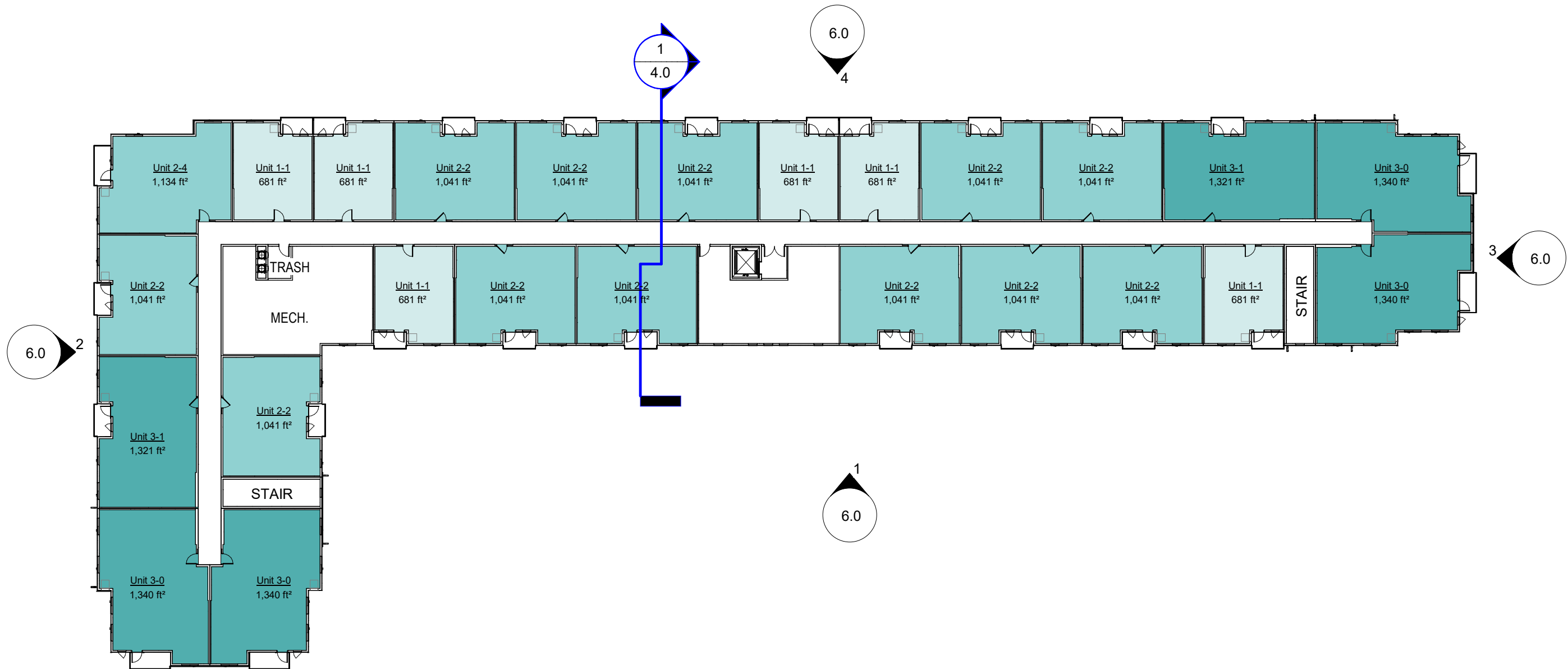
1 Building A - Level 2
1/32" = 1'-0"



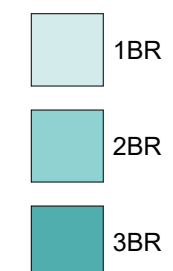
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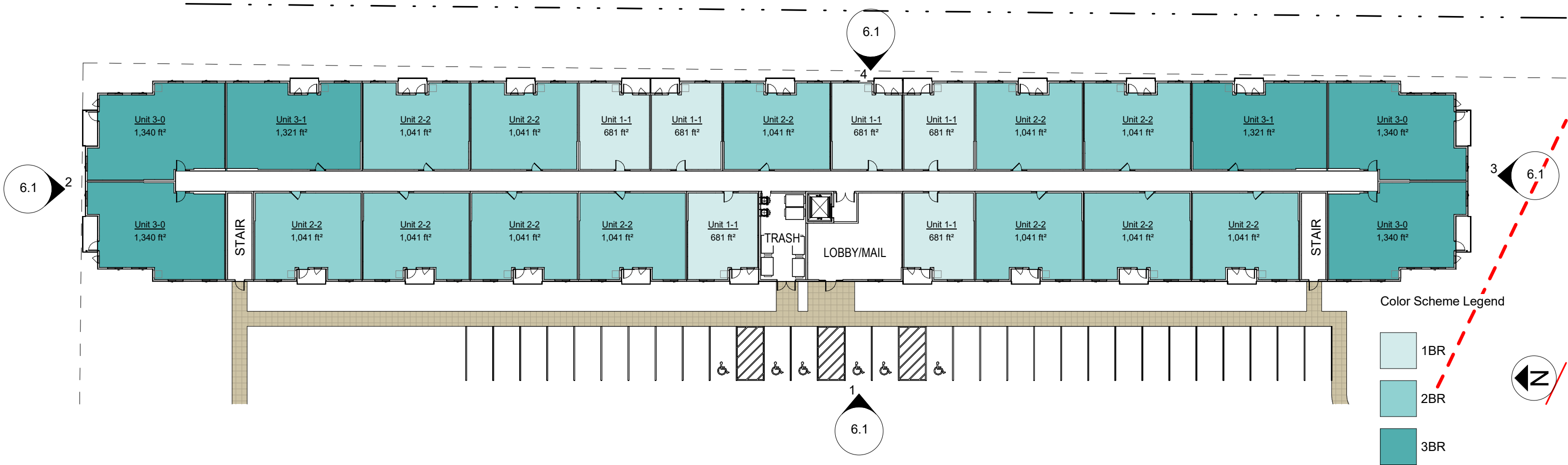
1 Building A - Level 3
1/32" = 1'-0"



Color Scheme Legend



1 Building A - Level 4
1/32" = 1'-0"



1 Building B - Level 1
1/32" = 1'-0"



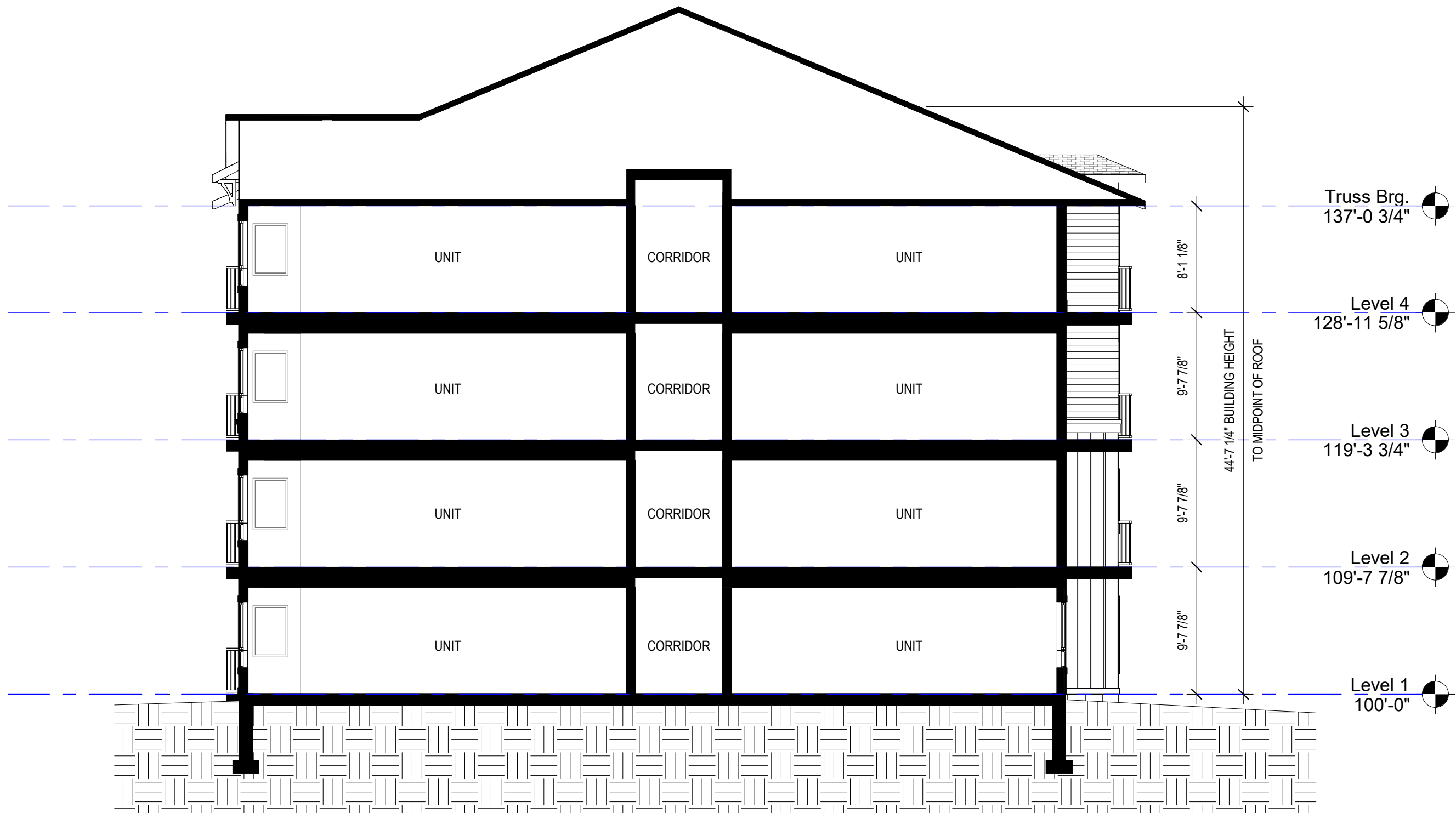
1 Building B - Level 2
1/32" = 1'-0"



1 Building B - Level 3
1/32" = 1'-0"



1 Building B - Level 4
1/32" = 1'-0"



1 Typical Building Section
1/8" = 1'-0"



1 Building A - South Elevation
1" = 30'-0"



2 Building A - West Elevation
1" = 30'-0"



3 Building A - East Elevation
1" = 30'-0"



4 Building A - North Elevation
1" = 30'-0"



1 Building B - West Elevation
1" = 30'-0"



2 Building B - North Elevation
1" = 30'-0"

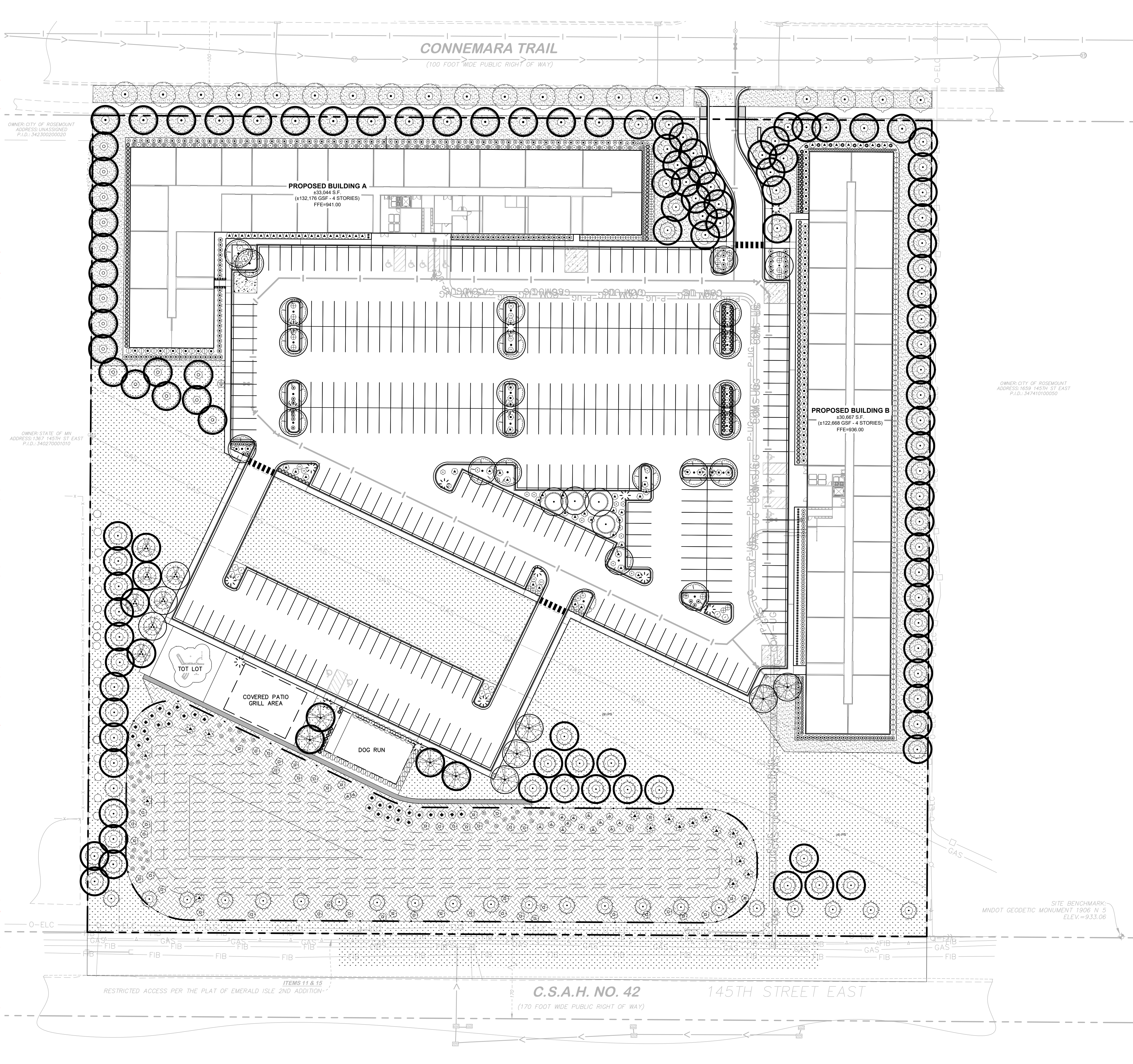


3 Building B - South Elevation
1" = 30'-0"



4 Building B - East Elevation
1" = 30'-0"

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PLANT SCHEDULE

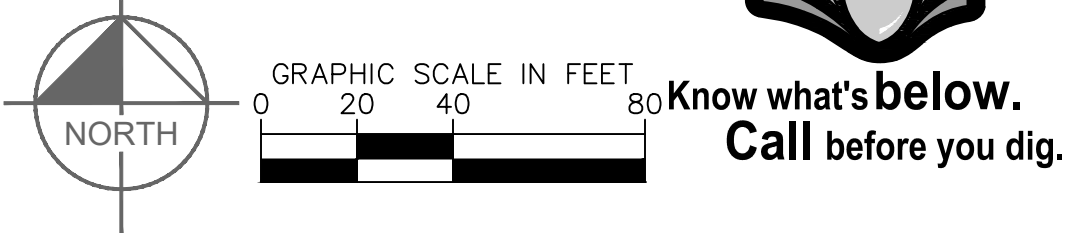
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
DECIDUOUS TREES						
	9	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE APPLE SERVICEBERRY	B & B	2"	CAL MIN
	7	BETULA NIGRA	RIVER BIRCH MULTI-TRUNK	B & B		MULTI TRUNK
	24	CERCIS CANADENSIS	EASTERN REDBUD	B & B	2.5"	CAL MIN
EVERGREEN TREES						
	41	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	B & B		6' HT MIN
	4	PICEA GLAUCA 'DENSATA'	BLACK HILLS WHITE SPRUCE	B & B		6' HT MIN
	38	PINUS STROBUS	WHITE PINE	B & B		6' HT MIN
OVERSTORY TREES						
	29	GYMNOCADUS DIOICUS 'ESPRESSO'	KENTUCKY COFFEETREE	B & B	2.5"	CAL MIN
	16	QUERCUS RUBRA	NORTHERN RED OAK	B & B	2.5"	CAL MIN
	23	TILIA AMERICANA 'BOULEVARD'	BOULEVARD AMERICAN LINDEN	B & B	2.5"	CAL MIN
	7	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	B & B	2.5"	CAL MIN
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
BIORETENTION SHRUBS						
	37	ASCLEPIAS INCARNATA	SWAMP MILKWEED	1 GAL	24"	OC
	30	CORNUS SERICEA	RED TWIG DOGWOOD	3 GAL	48"	OC
	17	ILEX VERTICILLATA	WINTERBERRY	2 GAL	48"	OC
	15	PHYSOCARPUS OPULIFOLIUS	NINEBARK	3 GAL	24"	OC
	51	SAMBUCUS CANADENSIS	AMERICAN ELDERBERRY	1 GAL	36"	OC
DECIDUOUS SHRUBS						
	66	ARONIA MELANOCARPA 'IROQUOIS BEAUTY'™	IROQUOIS BEAUTY BLACK CHOKEBERRY	#5 CONT.	4'	O.C.
	59	CORNUS RACEMOSA	GRAY DOGWOOD	#5 CONT.	5'	O.C.
	84	DIERVILLA LONICERA	DIWARF BUSH HONEYSUCKLE	#5 CONT.	3'	O.C.
	135	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	#5 CONT.	4'	O.C.
	57	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	#5 CONT.	4'	O.C.
	51	SORBARIA SORBIFOLIA 'SEM'	SEM FALSESPIREA	#5 CONT.	3'	O.C.
PERENNIALS						
	96	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1 GAL	30"	OC
	98	ECHINACEA PURPUREA	CONEFLOWER	B & B	24"	OC
	83	NEPETA X FAASSENI 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL	30"	OC
	153	PANICUM TURGIDUM	SWITCH GRASS	1 GAL	18"	OC
CONIFEROUS SHRUBS						
	18	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	#5 CONT.	5'	O.C.
	148	JUNIPERUS SCOPULORUM 'MEDORA'	MEDORA JUNIPER	#5 CONT.	4'	O.C.
	24	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	#5 CONT.	4'	O.C.
	44	PINUS MUGO 'WHITE BUD'	MUGO WHITE BUD PINE	#5 CONT.	3'	O.C.
	67	TAXUS X MEDIA 'TAUNTONI'	TAUNTON YEW	#5 CONT.	5'	O.C.
	12	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	#5 CONT.	5'	O.C.
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING
	55,022 SF	SEED MIX	STORMWATER SEED MIX	SEED		
	103,825 SF	SEED WITH MNDOT 33-261	DRY PRARIE GENERA SEED MIX	SEED		
	43,116 SF	SEED WITH MNDOT 35-221	TWIN CITY SEED COMPANY SEED MIX	SEED		
	24,397 SF	SEED WITH MNDOT 25-151	NOTE: IN ALL LANDSCAPE AREAS AND 6" WOOD CHIPS MULCH RINGS AROUND TREES			
	NOT SHOWN	MULCH				

LANDSCAPE REQUIREMENTS:

1. REQUIRED:	PROVIDED:
1 TREE/1,000 S.F. OF OPEN SPACE - 132,943/1000 = 133 TREES	119 TREES 1 TREE / 1,117 S.F. OF OPEN SPACE
2. REQUIRED:	PROVIDED:
210 L.F. OF PLANTINGS	2,106 L.F.
1 L.F. OF PLANTING PER 10 L.F. OF BUILDING PERIMETER 2,106 L.F. / 10	

PARKING LOT REQUIREMENTS:

1. REQUIRED:	PROVIDED:
36 TREES	36 TREES
1 TREE PER 10 SPACES TOTAL SPACES: 363 / 10 = 36 TREES	



PRELIMINARY - NOT FOR CONSTRUCTION

ROSEMOUNT
MULTI-FAMILY
PREPARED FOR
DEVCO

ROSEMOUNT

811
Know what's below.
Call before you dig.

PROJECT
161218001

DATE
09/24/2024

SCALE
#####

DESIGNED BY
CPH

DRAWN BY
CPH

CHECKED BY
BMW

OWNER
KIMLEY-HORN & ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE 651-445-4197
WWW.KIMLEY-HORN.COM

DATE
09/24/2024

BY
BRIAN M. WURDEMAN

NO.
53113

PROJECT
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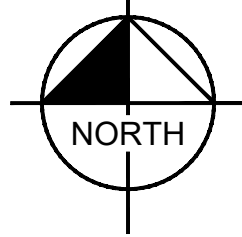
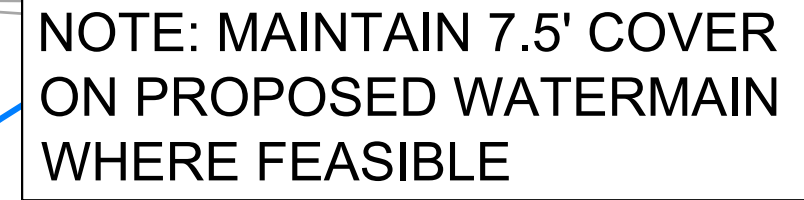
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DATE
09/24/2024

BY
BRIAN M. WURDEMAN

NO.
53113



GRAPHIC SCALE IN FEET



0 20 40 80



Know what's **below**.
Call before you dig.

LEGEND

EXISTING	PROPOSED	
		GATE VALVE
		HYDRANT
		REDUCER
		TEE
		SANITARY SEWER MANHOLE
		SANITARY CLEANOUT
		WATERMAIN
		SANITARY SEWER
		STORM SEWER
		UNDERGROUND ELECTRIC
		TELEPHONE
		GAS MAIN

WATERMAIN KEYNOTE LEGEND

A	8" COMBINED DOMESTIC & FIRE SERVICE W/GATE VALVE
B	PROPOSED FIRE HYDRANT
C	GATE VALVE
D	45-DEGREE BEND
E	22.5-DEGREE BEND
F	TEE
G	CONNECT TO EX. 12" WATERMAIN WITH A 12"x8" CROSS FOR THE NEW WATER SERVICE LINE TO THE PROPERTY

UTILITY PLAN NOTES

1. INSTALL UTILITIES IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS, STATE PLUMBING CODE, AND BUILDING PERMIT REQUIREMENTS.
 2. CONTACT STATE B11 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
 3. CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 4. SANITARY SEWER PIPE SHALL BE:
PVC: ASTM D-2729, D-3034
PVC SCH 40: ASTM D-1785, F-714, F-894
SANITARY SEWER FITTINGS SHALL BE:
PVC: ASTM D-2729, D-3034
PVC SCH40: ASTM D-2665, F-2794, F-1866
 5. WATER MAIN PIPE SHALL BE:
PVC: ASTM D-1785, D-2241, AWWA C-900
DUCTILE IRON: AWWA C115
WATER MAIN FITTINGS SHALL BE:
PVC: ASTM D-2464, D-2465, D-2467, F-1970, AWWA C-907
DUCTILE IRON: AWWA C-153, C-110, ASME 316.4
 5. STORM SEWER PIPE SHALL BE:
RCP: ASTM C-79
HDPE: ASTM F-714, F-894
PVC: ASTM D-2729
PVC SCH40: ASTM D-1785, D-2665, F-794
DRAIN TILE SHALL BE:
PE: ASTM F-6867
PVC: ASTM D-2729
STORM SEWER FITTINGS SHALL BE:
RCP: ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443
HDPE: ASTM D-3212
PVC: ASTM D-2729, JOINTS PER ASTM D-3212
PVC SCH40: ASTM D-2665, F-794, F-1866
 6. WHEN CONNECTING TO AN EXISTING UTILITY LINE, FIELD VERIFY THE LOCATION, DEPTH, AND SIZE OF THE EXISTING PIPE(S) PRIOR TO INSTALLATION OF THE NEW LINES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
 7. PLACE AND COMPACT ALL FILL MATERIAL PRIOR TO INSTALLATION OF PROPOSED UNDERGROUND UTILITIES. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 8. MAINTAIN A MINIMUM OF 7'-6" COVER ON ALL WATER LINES.
 9. FOR WATER LINES AND SUB-UTS UTILIZE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
 10. MAINTAIN 18-INCH MINIMUM VERTICAL SEPARATION WHERE SEWER PIPE CROSSES WATER LINES (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE), PROVIDE 10-FOOT HORIZONTAL SEPARATION BETWEEN SEWER PIPE AND WATER LINES.
 11. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN SEWER PIPE, SANITARY LINES, STORM LINES, AND GAS LINES (OR ANY OBSTRUCTION EXISTING AND PROPOSED), THE SANITARY PIPE MATERIAL SHALL BE PVC SCHEDULE 40 OR PVC C900 AND HAVE MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18-INCH VERTICAL SEPARATION MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
 12. ALL PVC & HDPE SEWER AND WATER PIPE SHALL HAVE A TRACER WIRE INSTALLED PER THE TRENCH AND TERMINATED PER THE DETAILS.
 13. UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO PLACING BACKFILL.
 14. IN PAVEMENT AREAS, RAISE MANHOLE CASTINGS TO BE FLUSH WITH PROPOSED FINISHED SURFACE GRADE. IN GREEN AREAS, RAISE MANHOLE CASTINGS TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATION & INSTALL A WATERTIGHT LID.
 15. REFER TO PLUMBING PLANS FOR LOCATION, SIZE AND ELEVATION OF UTILITY SERVICE CONNECTIONS AND ROOF DRAINS TO THE INTERIOR BUILDING SYSTEMS. BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) & METERS ARE LOCATED INSIDE THE BUILDING.
 16. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 17. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 18. REFER TO THE SITE ELECTRICAL PLANS FOR SPECIFICATIONS OF THE PROPOSED SITE LIGHTING AND ELECTRICAL EQUIPMENT.
 19. EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS
REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS. REFER TO THE GRADING PLAN FOR DETAILED SURFACE ELEVATIONS.
 20. EXCESS MATERIAL, ABANDONED UTILITY ITEMS, AND OTHER UNSALABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 21. COORDINATE WITH THE PLUMBING PLANS FOR THE LOCATION, SIZE AND ELEVATION OF THE PROPOSED UNDERGROUND ROOF DRAIN CONNECTIONS.
 22. WHERE STORM SEWER ROOF DRAINS HAVE LESS THAN 4-FEET OF COVER IN PAVED AREAS OR 3-FEET OF COVER IN LANDSCAPE AREAS, PROVIDE 3-INCH THICK INSULATION A MINIMUM OF 5-FEET IN WIDTH, CENTERED ON THE PIPE.
 23. ALL STORM SEWER PIPE JOINTS SHALL BE WATER-TIGHT CONNECTIONS.
 24. ALL STORM SEWER PIPE CONNECTIONS TO MANHOLES SHALL BE GASKETED AND WATER TIGHT. BOOTED COUPLERS AT THE STRUCTURE OR A WATER STOP WITH NON-SHRINK GROUT MAY BE USED IN ACCORDANCE WITH LOCAL CODES.
 25. CONTRACTOR SHALL AIR TEST ALL STORM SEWER PIPE IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS.

PRELIMINARY - NOT FOR CONSTRUCTION

ROSEMOUNT MULTI-FAMILY

DEVCO

ROSEMOUNT

UTILITY PLAN

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION OR REPORT WAS PREPARED BY
ME OR UNDER MY DIRECT SUPERVISION AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE OF
MINNESOTA.

BRIAN M. WURDEMAN

DATE: 09/24/2024 LIC. NO. 53113

Kimley»Horn

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[illegible]

A REFER TO SHEET E02 FOR FIXTURE SCHEDULE AND CUTSHEETS.

B LIGHTING LEVELS SHOWN ARE MAINTAINED. LIGHT LOSS FACTOR OF 0.90 WAS USED TO ACCOUNT FOR DIRT AND LUMEN DEPRECIATION.

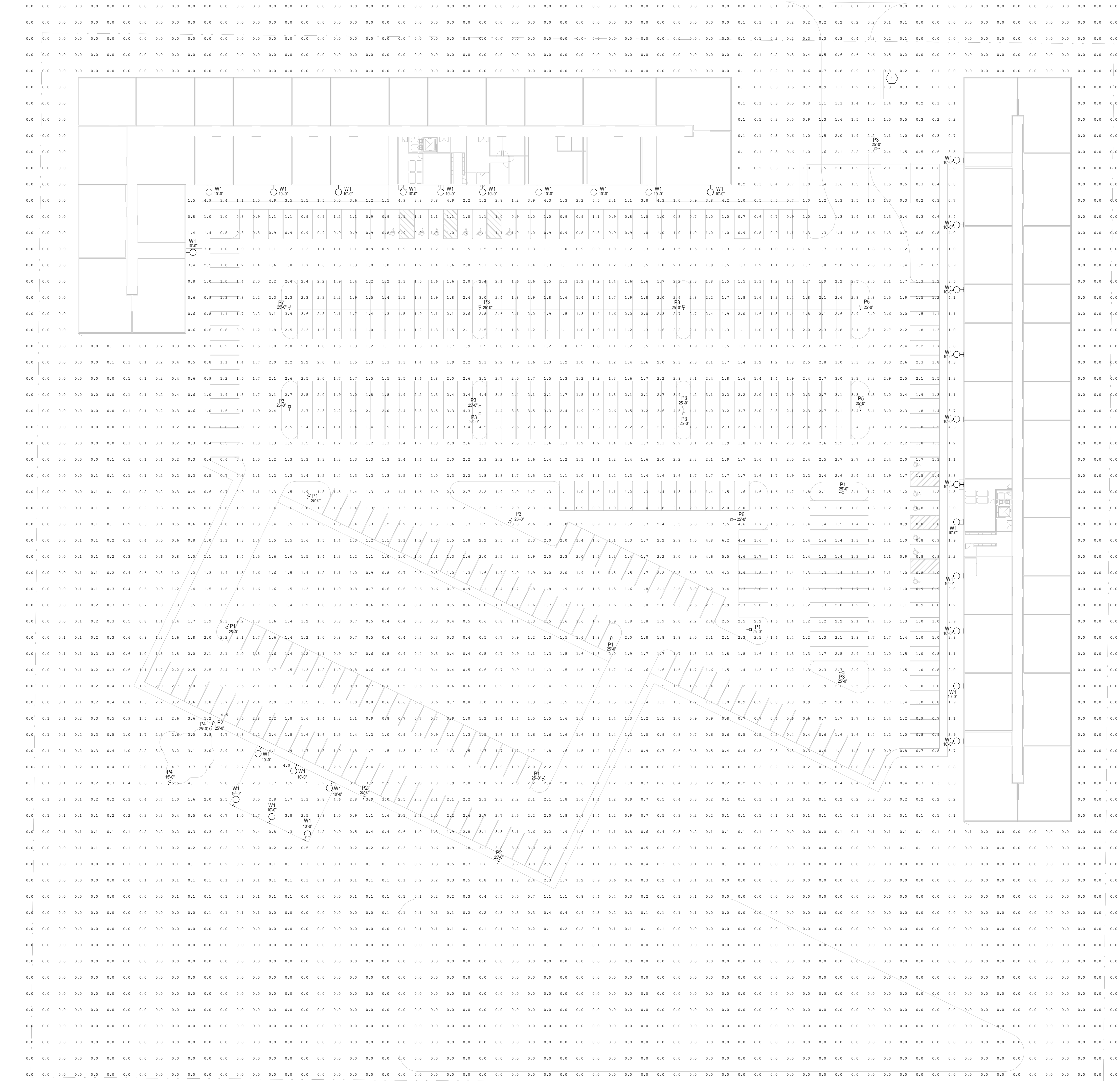
C MOUNTING HEIGHTS SHOWN ARE TO BOTTOM OF FIXTURE.

D REFER TO DETAIL 3/E02 FOR FIXTURE TYPE P1, P2, P3, P4, P5, P6 & P7 POLE AND BASE REQUIREMENTS.

(NOT ALL NOTES MAY BE USED ON THIS SHEET)

1. PROVIDE CONNECTION TO INTERNALLY ILLUMINATED SIGN. COORDINATE EXACT CONNECTION REQUIREMENTS AND MOUNTING HEIGHT WITH SIGN SUPPLIER PRIOR TO ROUGH-IN. PROVIDE AND CONCEAL WEATHERPROOF TOGGLE SWITCH DISCONNECT FOR SIGN.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
East Prop	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
Egress Path	Illuminance	Fc	2.01	8.5	0.4	5.03	21.25
North Prop	Illuminance	Fc	0.04	0.4	0.0	N.A.	N.A.
Site	Illuminance	Fc	0.56	7.9	0.0	N.A.	N.A.
South Prop	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
West Prop	Illuminance	Fc	0.01	0.1	0.0	N.A.	N.A.



1 ELECTRICAL SITE PHOTOMETRIC PLAN
SCALE: 1" = 30'-0"

[illegible]

I hereby certify that this plan, specification, or report was prepared by me and my direct professional staff and is fully certified by me as a Professional Engineer under the laws of the State of Minnesota.

Signature _____ Date _____
Name _____ Reg. No. _____
Title _____

 **emmanuel&poldas**
consulting engineers

Emmanuel & Poldas, Inc.
7750 South Lake Road
Edina, MN 55425
(952) 390-0500 | www.epc.com

ROSEMOUNT APARTMENTS
ROSEMOUNT, MN

SHEET TITLE ELECTRICAL SITE PHOTOMETRIC PLAN	PROJECT # 5052.0000	DATE: 9/20/2024
	DRAWN BY: AJR	CHECKED BY: BWJ

SHEET #

E0.1

Page 47 of 52

LIGHT FIXTURE SCHEDULE

GENERAL NOTES:

A. CATALOG NUMBER INDICATES BASIC FIXTURE TYPE REQUIRED FOR THIS PROJECT AND MAY NOT BE COMPLETE. VERIFY WITH MANUFACTURER TO INCLUDE ALL OPTIONS AND ACCESSORIES REQUIRED FOR THIS INSTALLATION.

B. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FIXTURE LOCATIONS, MOUNTING, AND REQUIREMENTS WITH ARCHITECTURAL PLANS, SECTIONS, ELEVATIONS, AND REFLECTED CEILING PLANS PRIOR TO ORDERING FIXTURES.

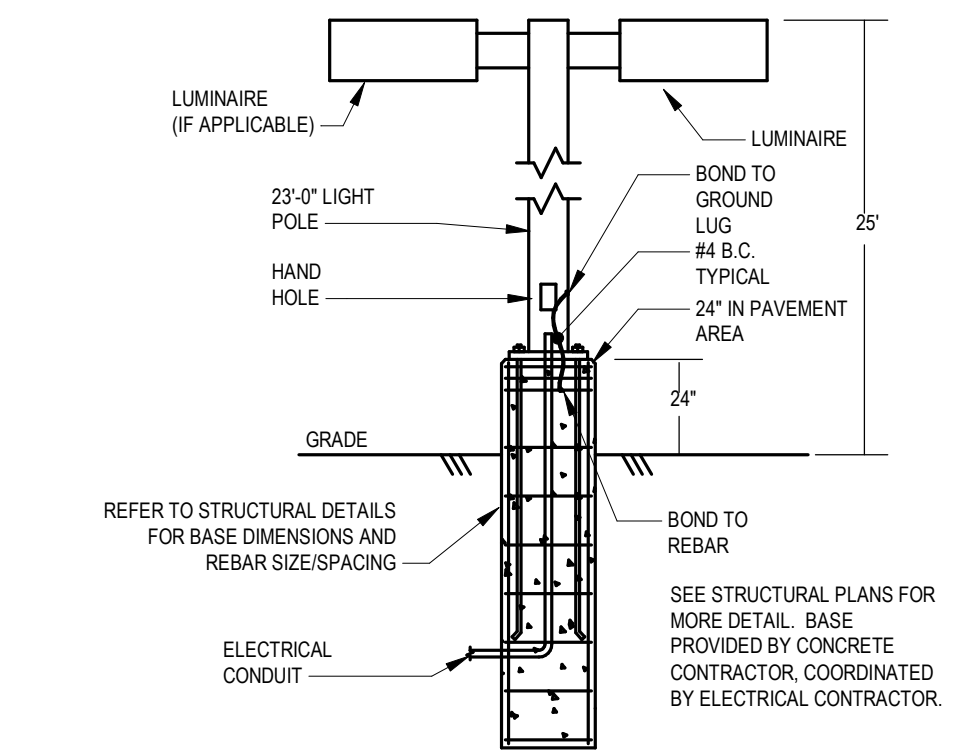
C. ALL FINISHES SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO ORDERING FIXTURES. FINISH SELECTION TO BE FROM MANUFACTURER'S STANDARD FINISHES UNLESS NOTED OTHERWISE. FINISHES SHALL BE VERIFIED AT THE TIME OF SHOP DRAWING SUBMITTAL.

D. SAMPLES OF ALL FIXTURES SHALL BE AVAILABLE AT THE ENGINEER'S REQUEST DURING SHOP DRAWING REVIEW.

FIXTURE NOTES:

1. COORDINATE POLE HEIGHT AND CONCRETE BASE. REFER TO POLE BASE DETAILS

TYPE	DESCRIPTION	VOLT	LAMPS	QTY / FIXT	V. / FIXT.	MANUFACTURER	CATALOG NUMBER	NOTES	TYPE
P1	EXTERIOR LIGHT POLE AND LED AREA LUMINAIRE, IP66 RATED, DIE-CAST ALUMINUM HOUSING, INJECTION MOLDED SNO DISTRIBUTION LENS, 0-10V DIMMING, FINISH TO BE SELECTED BY ARCHITECT.	UNIV	LED, 32,300 NOMINAL LUMENS, 3,000K, 80 CRI	N/A	129	COOPER	GLEON-SAA4-S80-U-SQ	1	P1
P2	EXTERIOR LIGHT POLE AND LED AREA LUMINAIRE, IP66 RATED, DIE-CAST ALUMINUM HOUSING, INJECTION MOLDED S DISTRIBUTION LENS, 0-10V DIMMING, FINISH TO BE SELECTED BY ARCHITECT.	UNIV	LED, 29,700 NOMINAL LUMENS, 3,000K, 80 CRI	N/A	129	COOPER	GLEON-SAA4-S80-U-S4	1	P2
P3	EXTERIOR LIGHT POLE AND LED AREA LUMINAIRE, IP66 RATED, DIE-CAST ALUMINUM HOUSING, INJECTION MOLDED 14W DISTRIBUTION LENS, 0-10V DIMMING, FINISH TO BE SELECTED BY ARCHITECT.	UNIV	LED, 31,500 NOMINAL LUMENS, 3,000K, 80 CRI	N/A	129	COOPER	GLEON-SAA4-S80-U-14w	1	P3
P4	SAME AS P2, DIFFERENT LUMEN PACKAGE.	UNIV	LED, 15,100 NOMINAL LUMENS, 3,000K, 80 CRI	N/A	66	COOPER	GLEON-SAA4-S80-U-S4	1	P4
P5	EXTERIOR LIGHT POLE AND LED AREA LUMINAIRE, IP66 RATED, DIE-CAST ALUMINUM HOUSING, INJECTION MOLDED SNO DISTRIBUTION LENS, 0-10V DIMMING, FINISH TO BE SELECTED BY ARCHITECT.	UNIV	LED, 32,300 NOMINAL LUMENS, 3,000K, 80 CRI	N/A	129	COOPER	GLEON-SAA4-S80-U-SQ	1	P5
P6	EXTERIOR LIGHT POLE AND LED AREA LUMINAIRE, IP66 RATED, DIE-CAST ALUMINUM HOUSING, INJECTION MOLDED S4 DISTRIBUTION LENS, 0-10V DIMMING, FINISH TO BE SELECTED BY ARCHITECT.	UNIV	LED, 27,500 NOMINAL LUMENS, 3,000K, 80 CRI	N/A	129	COOPER	GLEON-SAA4-S80-U-S4	1	P6
P7	EXTERIOR LIGHT POLE AND LED AREA LUMINAIRE, IP66 RATED, DIE-CAST ALUMINUM HOUSING, INJECTION MOLDED T4F DISTRIBUTION LENS, 0-10V DIMMING, FINISH TO BE SELECTED BY ARCHITECT.	UNIV	LED, 31,500 NOMINAL LUMENS, 3,000K, 80 CRI	N/A	129	COOPER	GLEON-SAA4-S80-U-T4F	1	P7
W1	EXTERIOR WALL SCONCE, 9" X 8" RECTANGULAR, SEALED IP66 RATED ALUMINUM HOUSING	UNIV	LED, 2,000 NOMINAL LUMENS, 3,000K, 80 CRI	N/A	15	LITHONIA	WDEE1-LE P2 30K 80CR VF		W1



3 POLE BASE DETAIL B1
NO SCALE



Specifications

Depth (D1):	5.5"
Depth (D2):	1.5"
Height:	8"
Width:	9"
Weight: (without options)	9 lbs

 Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.
*See ordering tree for details

WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumen (4000K, 80CRI)							
					P0	P1	P2	P3	P4	P5	P6	
W062 LED	Visual Comfort	4W	--	--	750	1,200	2,200	--	--	--	--	--
W062 LED	Visual Comfort	10W	18W	Standard / night	--	1,200	2,000	3,000	4,500	6,000	--	--
W062 LED	Precision Refractive	10W	18W	Standard / night	700	1,200	2,000	3,200	4,200	--	--	--
W063 LED	Precision Refractive	15W	18W	Standard / night	6,000	7,500	8,500	10,000	12,000	--	--	--
W064 LED	Precision Refractive	--	--	Standard / night	--	12,000	16,000	18,000	20,000	22,000	25,000	--

Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

[illegible]

COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WDGE1 LEC
Rev. 05/30/20

① FIXTURE TYPE W1

NO SCALE

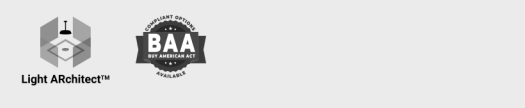
Project		Catalog #		Type	
Prepared by		Notes		Date	



McGraw-Edison
GLEON Galleon

Area / Site Luminaire

Product Features



Product Certifications



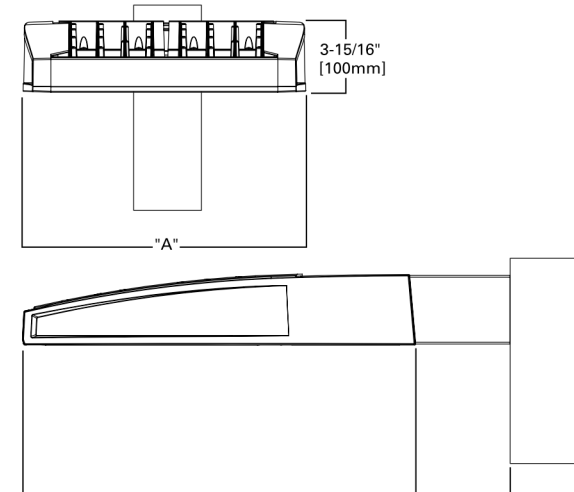
 Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LITE Wireless
- Enlighted

Quick Facts

- Lumen packages range from 4,200 - 80,800 (34W - 640W)
- Efficacy up to 156 LPW
- Options to meet Buy American and other domestic preference requirements

Dimensional Details



NOTES:
1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
2. ICA Certified for 2000h CCT and warmer only.

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Extended Arm Length ¹	"B" QM Arm Length	"B" QML Length	"B" QMLA Length
1-4	15-1/2"	7"	10"	10-5/8"	--	16-9/16"
5-6	21-5/8"	7"	10"	10-5/8"	--	16-9/16"
7-8	21-5/8"	7"	13"	10-5/8"	10-5/16"	--
9-10	22-1/4"	7"	14"	10-5/8"	10-5/16"	--



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McGraw-Edison

GLEON Galleon

Ordering Information

SAMPLE NUMBER: GLEON-SA4C-740-U-T4FT-GM

Product Family *	Light Engine		Color		Voltage	Distribution	Mounting	Finish
	Configuration	Drive Current	720p/1080p	720p/1080p				
Model Family *	Light Engine	Drive Current	720p/1080p	720p/1080p	12V/24V	Top Panel	Model Name or Board or Series Name	AP Drive
GA-LED-0100	GA-LED-0100	8000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-0100	8000mA
GA-LED-0200	GA-LED-0200	16000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-0200	16000mA
GA-LED-0300	GA-LED-0300	24000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-0300	24000mA
GA-LED-0400	GA-LED-0400	32000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-0400	32000mA
GA-LED-0500	GA-LED-0500	40000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-0500	40000mA
GA-LED-0600	GA-LED-0600	48000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-0600	48000mA
GA-LED-0700	GA-LED-0700	56000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-0700	56000mA
GA-LED-0800	GA-LED-0800	64000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-0800	64000mA
GA-LED-0900	GA-LED-0900	72000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-0900	72000mA
GA-LED-1000	GA-LED-1000	80000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-1000	80000mA
GA-LED-1100	GA-LED-1100	88000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-1100	88000mA
GA-LED-1200	GA-LED-1200	96000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-1200	96000mA
GA-LED-1300	GA-LED-1300	104000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-1300	104000mA
GA-LED-1400	GA-LED-1400	112000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-1400	112000mA
GA-LED-1500	GA-LED-1500	120000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-1500	120000mA
GA-LED-1600	GA-LED-1600	128000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-1600	128000mA
GA-LED-1700	GA-LED-1700	136000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-1700	136000mA
GA-LED-1800	GA-LED-1800	144000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-1800	144000mA
GA-LED-1900	GA-LED-1900	152000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-1900	152000mA
GA-LED-2000	GA-LED-2000	160000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-2000	160000mA
GA-LED-2100	GA-LED-2100	168000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-2100	168000mA
GA-LED-2200	GA-LED-2200	176000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-2200	176000mA
GA-LED-2300	GA-LED-2300	184000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-2300	184000mA
GA-LED-2400	GA-LED-2400	192000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-2400	192000mA
GA-LED-2500	GA-LED-2500	200000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-2500	200000mA
GA-LED-2600	GA-LED-2600	208000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-2600	208000mA
GA-LED-2700	GA-LED-2700	216000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-2700	216000mA
GA-LED-2800	GA-LED-2800	224000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-2800	224000mA
GA-LED-2900	GA-LED-2900	232000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-2900	232000mA
GA-LED-3000	GA-LED-3000	240000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-3000	240000mA
GA-LED-3100	GA-LED-3100	248000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-3100	248000mA
GA-LED-3200	GA-LED-3200	256000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-3200	256000mA
GA-LED-3300	GA-LED-3300	264000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-3300	264000mA
GA-LED-3400	GA-LED-3400	272000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-3400	272000mA
GA-LED-3500	GA-LED-3500	280000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-3500	280000mA
GA-LED-3600	GA-LED-3600	288000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-3600	288000mA
GA-LED-3700	GA-LED-3700	296000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-3700	296000mA
GA-LED-3800	GA-LED-3800	304000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-3800	304000mA
GA-LED-3900	GA-LED-3900	312000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-3900	312000mA
GA-LED-4000	GA-LED-4000	320000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-4000	320000mA
GA-LED-4100	GA-LED-4100	328000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-4100	328000mA
GA-LED-4200	GA-LED-4200	336000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-4200	336000mA
GA-LED-4300	GA-LED-4300	344000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-4300	344000mA
GA-LED-4400	GA-LED-4400	352000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-4400	352000mA
GA-LED-4500	GA-LED-4500	360000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-4500	360000mA
GA-LED-4600	GA-LED-4600	368000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-4600	368000mA
GA-LED-4700	GA-LED-4700	376000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-4700	376000mA
GA-LED-4800	GA-LED-4800	384000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-4800	384000mA
GA-LED-4900	GA-LED-4900	392000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-4900	392000mA
GA-LED-5000	GA-LED-5000	400000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-5000	400000mA
GA-LED-5100	GA-LED-5100	408000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-5100	408000mA
GA-LED-5200	GA-LED-5200	416000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-5200	416000mA
GA-LED-5300	GA-LED-5300	424000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-5300	424000mA
GA-LED-5400	GA-LED-5400	432000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-5400	432000mA
GA-LED-5500	GA-LED-5500	440000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-5500	440000mA
GA-LED-5600	GA-LED-5600	448000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-5600	448000mA
GA-LED-5700	GA-LED-5700	456000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-5700	456000mA
GA-LED-5800	GA-LED-5800	464000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-5800	464000mA
GA-LED-5900	GA-LED-5900	472000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-5900	472000mA
GA-LED-6000	GA-LED-6000	480000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-6000	480000mA
GA-LED-6100	GA-LED-6100	488000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-6100	488000mA
GA-LED-6200	GA-LED-6200	496000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-6200	496000mA
GA-LED-6300	GA-LED-6300	504000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-6300	504000mA
GA-LED-6400	GA-LED-6400	512000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-6400	512000mA
GA-LED-6500	GA-LED-6500	520000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-6500	520000mA
GA-LED-6600	GA-LED-6600	528000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-6600	528000mA
GA-LED-6700	GA-LED-6700	536000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-6700	536000mA
GA-LED-6800	GA-LED-6800	544000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-6800	544000mA
GA-LED-6900	GA-LED-6900	552000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-6900	552000mA
GA-LED-7000	GA-LED-7000	560000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-7000	560000mA
GA-LED-7100	GA-LED-7100	568000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-7100	568000mA
GA-LED-7200	GA-LED-7200	576000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-7200	576000mA
GA-LED-7300	GA-LED-7300	584000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-7300	584000mA
GA-LED-7400	GA-LED-7400	592000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-7400	592000mA
GA-LED-7500	GA-LED-7500	600000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-7500	600000mA
GA-LED-7600	GA-LED-7600	608000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-7600	608000mA
GA-LED-7700	GA-LED-7700	616000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-7700	616000mA
GA-LED-7800	GA-LED-7800	624000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-7800	624000mA
GA-LED-7900	GA-LED-7900	632000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-7900	632000mA
GA-LED-8000	GA-LED-8000	640000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-8000	640000mA
GA-LED-8100	GA-LED-8100	648000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-8100	648000mA
GA-LED-8200	GA-LED-8200	656000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-8200	656000mA
GA-LED-8300	GA-LED-8300	664000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-8300	664000mA
GA-LED-8400	GA-LED-8400	672000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-8400	672000mA
GA-LED-8500	GA-LED-8500	680000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-8500	680000mA
GA-LED-8600	GA-LED-8600	688000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-8600	688000mA
GA-LED-8700	GA-LED-8700	696000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-8700	696000mA
GA-LED-8800	GA-LED-8800	704000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-8800	704000mA
GA-LED-8900	GA-LED-8900	712000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-8900	712000mA
GA-LED-9000	GA-LED-9000	720000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-9000	720000mA
GA-LED-9100	GA-LED-9100	728000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-9100	728000mA
GA-LED-9200	GA-LED-9200	736000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-9200	736000mA
GA-LED-9300	GA-LED-9300	744000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-9300	744000mA
GA-LED-9400	GA-LED-9400	752000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-9400	752000mA
GA-LED-9500	GA-LED-9500	760000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-9500	760000mA
GA-LED-9600	GA-LED-9600	768000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-9600	768000mA
GA-LED-9700	GA-LED-9700	776000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-9700	776000mA
GA-LED-9800	GA-LED-9800	784000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-9800	784000mA
GA-LED-9900	GA-LED-9900	792000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-9900	792000mA
GA-LED-10000	GA-LED-10000	800000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-10000	800000mA
GA-LED-10100	GA-LED-10100	808000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-10100	808000mA
GA-LED-10200	GA-LED-10200	816000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-10200	816000mA
GA-LED-10300	GA-LED-10300	824000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-10300	824000mA
GA-LED-10400	GA-LED-10400	832000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-10400	832000mA
GA-LED-10500	GA-LED-10500	840000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-10500	840000mA
GA-LED-10600	GA-LED-10600	848000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-10600	848000mA
GA-LED-10700	GA-LED-10700	856000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-10700	856000mA
GA-LED-10800	GA-LED-10800	864000mA	720P/1080P	720P/1080P	12V	Top Panel	GA-LED-10800	864000mA
GA-LED-10900	GA-LED-10900	872000mA	720P/1080P	720P/1080P	1			

NOTES:

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Memorandum

To: Brian Erickson, City Engineer
Nick Egger, Director of Public Works

From: Amanda Sachi
Henry Meeker
Kris Keller

Date: October 17, 2024

Re: Devco Multi-Family
Engineering Review
WSB Project No. 026935-000

We have reviewed the documents provided by Kimley-Horn on September 30, 2024. Documents reviewed include:

- Devco Multi-Family Site Development Plans, dated 9/24/2024
- Devco Multi-Family Stormwater Management Plans, dated 9/24/2024

Additional redline comments are provided on the submitted civil plans. Applicant should provide responses to each comment and redline comment. We offer the following comments below.

Engineering Review:

1. General
 - a. The project consists of the construction of two apartment buildings, parking, and outdoor amenity spaces.
 - b. An NPDES permit will be required before construction can begin.
 - i. This will also require a site SWPPP.
 - c. Signed plans will be needed for final permit approval.
 - d. Clearly indicate proposed drainage and utility easements on the site plans.
 - e. Ensure plan scale is properly shown on all sheets.
2. Site Demolition Plan
 - a. Show removal/replacement areas impacted with watermain connection
 - i. City to determine removal/replacement limits (e.g. half, full widths, etc.)
 - b. Verify impact to proposed power poles with installation of sanitary and storm sewer
 - i. Note that filling in areas beneath overhead lines may impact clearances
 - ii. Coordinate with utility provider whether holding the poles or relocation will be required
 - c. Verify why existing storm sewer structures on Connemara Trail are shown as being removed
 - d. Show protecting existing gate valve to remain

3. Erosion and Sediment Control Plans

- a. No comments.

4. Site Dimension Plan

- a. Identify areas of 'tipout' curb
- b. Provide turning movements showing access for emergency, delivery and garbage vehicles.

5. Grading Plans

- a. Proposed grading includes low points around buildings, all low point EOFs must be provided to ensure at least 1' of freeboard to the building FFE.
- b. The maximum allowable slope above the BMP NWL is 4:1, grading around the west and east sides of the proposed retaining wall exceeds that slope.
- c. Retaining walls exceeding 4' in height shall require a plan prepared by a licensed engineer submitted for review and approval by the Building Official prior to permit issuance.
 - i. Consideration must be made for the proposed storm sewer running under this wall.

6. Storm Sewers

- a. Applicant to provide storm sewer capacity calculations. Include a drainage area figure for checks of onsite tributary drainage.
- b. Applicant to specify casting and structure types on all storm sewer.
- c. Catchbasins are recommended on curblines instead of central to driving areas to avoid ponding and freezing concerns.
- d. 3' sumps for structures CBMH-07 and STRM-02 must be called out on the storm sewer plan.
- e. A City standard detail showing FES sheet piling is needed for all FES 24" and greater.
- f. Storm sewer outfalls to the site BMP must demonstrate flow velocities of 6 ft/s or less to reduce erosion potential.
 - i. Outfalls must also show riprap extending down to the bottom of the basin.

7. Stormwater Management Plan

- a. Offsite drainage area delineation must be provided for tributary flows from 145th St (CSAH 42). Other projects, including the CSAH 42 and CSAH 73 Improvements designed by Kimley Horn, show offsite drainage to this basin of nearly 30 acres which far exceeds the 3.2 acres modeled with this submittal.
- b. The low point north of Building A is recommended to be shifted east with the storm sewer routed to AD-02. This would allow for improved rate control and better capture of flows into the site BMP.
- c. While there is a slight increase in flows from proposed DA-2 from previous regional modeling efforts, this increase is offset by the decrease in flows from the proposed BMP. On the whole, this site does not appear to have a negative impact on rate control within the City regional system, this must be maintained while addressing the other comments provided.

- d. Offsite drainage must be included in the existing conditions model to accurately represent existing flows.
- e. HydroCAD storm event depths must be updated to 4.17" for the 10-year 24-hour, 7.41" for the 100-year 24-hour, and 7.2" for the 10-day snowmelt event per the Rosemount 2018 CSWMP.
- f. HydroCAD routing method must be updated to Dyn-Stor-Ind.
- g. The snowmelt event must be modeled using the Spillway 1-day 10-day storm curve in HydroCAD and include at least 240 hours of modeled time to properly capture peak flows and high water levels.
 - i. The snowmelt event must also include AMC 4 rainfall settings to represent frozen ground conditions.
- h. HydroCAD runoff method must be updated to calculate pervious/impervious separate (SBUH weighting).
- i. Exfiltration outlets must be removed from HydroCAD modeling for determination of site HWLs and outflow rates.
- j. City requirements specify infiltration areas are needed with a minimum flat surface of $\frac{\text{Basin Tributary Area (ac)}}{\text{Infiltration Rate (in/hr)}} * 0.0416$ (conversion factor). Current grading plans do not include the necessary flat infiltration area, side slopes cannot be counted towards this total.
- k. Soil infiltration rate testing is recommended to determine onsite infiltration rates for BMP design. Infiltration rates up to 3 in/hr will be considered based on testing results.
- l. The site BMP requires an outlet control structure meeting City design standards. The current proposed surface overflow is not a sufficient outlet design, an overflow pipe east to the regional basin is needed.
- m. Offsite drainage areas must factor into NURP cell and infiltration area calculations if they are to be routed to the BMP.
- n. Consolidation of the NURP cell is recommended, the current eastern portion proposed without a flat bottom will be difficult to grade and is likely to fill with sediment quickly.
- o. The BMP dead storage needs a clay liner to ensure it does not infiltrate and dry out.
Include a note specifying final infiltration surface grading shall not occur until site stabilization has been achieved.

8. Utility Plans

- a. Fire Marshal to review fire coverage (hydrant) and emergency access
- b. Define limits of public and private utilities
- c. Acquire/provide additional easement for public utilities on private property or private utilities on adjacent private property
 - i. Easement should be sized for a minimum 1:1 with invert of utility (minimum 20' centered on the utility)
- d. Include limits of bituminous removal and replacement of driveway on adjacent property
 - i. All grading and construction work on private property will require the written approval of the adjacent property owner

1. Provide agreement to City
 - e. Provide insulation for all utility crossings where the separation between the water and storm sewer is within 36".
 - f. Provide gas pipeline elevations to ensure utility crossings do not conflict.
 - g. Connect to existing 12" watermain with 12" x 8" tee instead of 12" x 8" cross so there will be fewer sleeves/joints with the installation
 - h. Provide what Keynote 'H' is in the legend
 - i. Show connecting to the existing sanitary sewer manhole as core drilling with watertight boot
 - j. Verify impact to proposed power poles with installation of sanitary and storm sewer
 - i. Note that filling in areas beneath overhead lines may impact clearances
 - ii. Note that removing material near power poles may create instability
 - iii. Coordinate with utility provider whether holding the poles or relocation will be required
9. Civil Details
 - a. No comments.
10. Landscape Plans
 - a. Tree planting locations must be deconflicted at AD-02 and CBMH-07 to reduce the long-term likelihood of root intrusion.
 - b. Shrubs are not allowable within the BMP footprint, only native seeding.