



**AGENDA**  
**Planning Commission Regular Meeting**  
**Tuesday, April 28, 2026**  
**6:30 PM**  
**City Council Chambers, City Hall**

- 1. CALL TO ORDER/PLEDGE OF ALLEGIANCE**
  - a. Oath of Office/ Re-appointment of Planning Commissioners
  - b. Nomination and Election of Chairperson and Vice Chairperson of the Planning Commission
- 2. ADDITIONS TO AGENDA**
- 3. AUDIENCE INPUT**
- 4. CONSENT AGENDA**
  - a. Minutes of the March 16, 2026 Regular Meeting Minutes
- 5. OLD BUSINESS**
- 6. PUBLIC HEARINGS**
  - a. Request by Scannell Properties #637, LLC, for approval of a Site Plan Review, Rezoning and Conditional Use Permit to construct a 250,00 square foot warehouse and distribution facility with outdoor storage.
  - b. Request by Zamira Selyukov for an amendment to the Rosemount zoning map to rezone the properties on 132nd Court from R-1 Low Density Residential to R-2 Low to Medium Density Residential.
- 7. NEW BUSINESS**
- 8. DISCUSSION**
- 9. ADJOURNMENT**

Planning Commission Regular Meeting: April 28, 2026  
 Tentative City Council Meeting:

<b>AGENDA ITEM:</b> Oath of Office/ Re-appointment of Planning Commissioners	<b>AGENDA SECTION:</b> CALL TO ORDER/PLEDGE OF ALLEGIANCE
<b>PREPARED BY:</b> Liz Kohler, Community Development Technician	<b>AGENDA NO.</b> 1.a.
<b>ATTACHMENTS:</b>	<b>APPROVED BY:</b> AK
<b>RECOMMENDED ACTION:</b> Administer the Oath of Office	

**BACKGROUND**

The City of Rosemount's City Council reappointed Melissa Kenninger for a term that will expire on March 31, 2029.

Minnesota State Statute 358.05 requires that City officials, appointed or elected, must take and sign an Oath of Office before transacting any business or exercising any privilege of office.

**RECOMMENDATION**

Administer the Oath of Office

Planning Commission Regular Meeting: April 28, 2026  
 Tentative City Council Meeting:

<b>AGENDA ITEM:</b> Nomination and Election of Chairperson and Vice Chairperson of the Planning Commission	<b>AGENDA SECTION:</b> CALL TO ORDER/PLEDGE OF ALLEGIANCE
<b>PREPARED BY:</b> Liz Kohler, Community Development Technician	<b>AGENDA NO.</b> 1.b.
<b>ATTACHMENTS:</b>	<b>APPROVED BY:</b> AK
<b>RECOMMENDED ACTION:</b> Nominate and Elect a Chairperson and Vice Chairperson of the Planning Commission	

**BACKGROUND**

The Chairperson and Vice Chairperson shall be selected by the Commission for a one-year term.

**RECOMMENDATION**

Nominate and Elect a Chairperson and Vice Chairperson of the Planning Commission

**ROSEMOUNT PLANNING COMMISSION  
REGULAR MEETING PROCEEDINGS  
MARCH 16, 2026**

**CALL TO ORDER/PLEDGE OF ALLEGIANCE**

Pursuant to due call and notice thereof a regular meeting of the Planning Commission was held on Monday, March 16, 2026, at 6:30 PM. in Rosemount Council Chambers, 2875 145th Street West.

Chairperson Kenninger called the meeting to order with Commissioners Rivera, Reed, Beadner, Ellis, and Arnob. Commissioner Buggi was absent.

Staff present included the following; Community Development (CD) Director Adam Kienberger, Senior Planner Anthony Nemcek, and CD Technician Liz Kohler.

The Pledge of Allegiance was said.

**ADDITIONS TO AGENDA**

None.

**AUDIENCE INPUT**

None.

**CONSENT AGENDA**

- a. Minutes of the February 24, 2026 Regular Meeting Minutes

**Motion by** Kenninger **Second by** Ellis

**Motion** to approve the February 24, 2026 Regular Meeting Minutes

**Ayes: 6.**

**Nays: None. Motion Carried.**

**OLD BUSINESS**

None.

**PUBLIC HEARINGS**

- a. Request by D & D Holdings, LLC for a site plan review to construct a full-service restaurant.

Senior Planner Nemcek presented a request by D & D Holdings, LLC for a site plan review to construct a full-service restaurant. Nemcek presented a summary of the site plan. He showed the site location. Nemcek confirmed the plan met setback standards. He also showed a site plan and landscape plan. He discussed the exterior materials and noted that the project will meet standards for height. Nemcek showed elevations and renderings of the project. He went through parking standards and confirmed that the project meets requirements. Nemcek noted that it would be a full-service restaurant and would be serving breakfast, lunch, and dinner. He went through landscaping and outdoor dining standards and

confirmed that the project would meet requirements.

Staff recommended approval.

Commissioner Reed and Commissioner Beadner voiced concerns about the flow of traffic. Commissioner Reed also asked about signage. Nemcek noted that offsite signage would not be permitted, but there could be a discussion about amending the PUD if issues arise. Commissioner Ellis asked about lighting standards in relation to residential lots. Nemcek explained the standards they would need to meet and noted that it is unlikely to be an issue. Commissioner Rivera asked about hours of service for the restaurant. Kienberger noted that all businesses are subject to city hours of operation restrictions.

Chairperson Kenninger opened the public hearing.

**Motion by Kenninger Second by Reed**

**Motion** to close the public hearing

**Ayes: 6.**

**Nays: None. Motion Carried.**

Chairperson Kenninger and Commissioner Rivera expressed excitement for the project.

**Motion by Beadner Second by Reed**

**Motion** to approve the site plan, subject to the following conditions:

1. The applicant shall submit a site lighting plan and photometric study.
2. A site plan shall be added to the civil plan set.
3. Payment of park dedication fees in the amount of \$13,320 (1.48 ac x \$9,000).
4. Payment of trunk area charges that were not collected with the Prestwick Place 26th Addition final plat.
5. Compliance with any requirements of the City Engineer prior to the issuance of a building permit.

**Ayes: 6.**

**Nays: None. Motion Carried.**

## **NEW BUSINESS**

None.

## **DISCUSSION**

Chairperson Kenninger went over the schedule for the next few months.

## **ADJOURNMENT**

There being no further business to come before the Planning Commission at the regular meeting, the meeting was adjourned at 6:52 p.m.

Respectfully submitted,

Liz Kohler  
Community Development Technician

Planning Commission Regular Meeting: April 28, 2026

Tenative City Council Meeting: May 19, 2026

<p><b>AGENDA ITEM:</b> Request by Scannell Properties #637, LLC, for approval of a Site Plan Review, Rezoning and Conditional Use Permit to construct a 250,00 square foot warehouse and distribution facility with outdoor storage.</p>	<p><b>AGENDA SECTION:</b> PUBLIC HEARINGS</p>
<p><b>PREPARED BY:</b> Julia Hogan, Planner</p>	<p><b>AGENDA NO.</b> 6.a.</p>
<p><b>ATTACHMENTS:</b> Site Location, Existing Conditions Survey, Site Plan, Grading and Drainage Plan, Storm Sewer Plan, Utility Plan, Landscape Plan, Photometric Plan, Proof of Parking Exhibit, Architectural Plans, Engineer's Memo Dated April 17, 2026</p>	<p><b>APPROVED BY:</b> AK</p>

**RECOMMENDED ACTION:**

1. **Motion** to recommend the City Council approve a zoning map amendment to rezone the site from A-2 - Agricultural to B-2 – Employment District.
2. **Motion** to approve the site plan review for the construction of a 250,000 square foot warehouse and distribution facility at 14005 Driver Avenue, subject to the following:
  - a. Incorporation of the recommendations of the City Engineer contained in the Engineer’s Memo dated April 17, 2026.
  - b. Updated architectural renderings are required to confirm that the principal building complies with the architectural standards outlined in the City Code.
  - c. The applicant shall work with staff to confirm that the correct amount of foundation plantings are being provided on the site.
  - d. The applicant shall continue to work with City Staff to determine the final number and location of access points to the site.
  - e. Signs shall be subject to sign permits and normal zoning standards.
3. **Motion** to recommend the City Council approve a Conditional Use Permit for Outdoor Storage in the B-2 – Employment Zoning District.

Or

1. **Motion** to continue this item until the May 26, 2026, Planning Commission meeting to allow the applicant additional time to submit supplemental materials and documentation related to their requests.

## **BACKGROUND**

Applicant & Property Owner:	Scannell Properties #637, LLC
Location:	14005 Driver Avenue
Site Area in Acres:	15.54 Acres
Comp Plan Des.:	BP – Business Park
Current Zoning:	A-2 - Agricultural District
Proposed Zoning:	B-2 – Employment District

The Planning Commission is being asked to consider a request from Scannell Properties #637, LLC for multiple approvals to facilitate the construction of a 250,000-square-foot warehouse and distribution facility on a 15.54-acre portion of Outlot C within Rich Valley First Addition. The applicant is seeking approval of a zoning map amendment to rezone the site from A-2 - Agricultural to B-2 - Employment, as well as Site Plan Review for the proposed building, and a Conditional Use Permit (CUP) for the outdoor storage area. In addition, the applicant has submitted a request for approval of a Final Plat for the 15.54-acre site. However, because Final Plats are now reviewed and approved solely by the City Council, this request is not before the Planning Commission.

The proposed warehouse and distribution facility complies with the structural and lot requirements of the B-2 Employment zoning district. The proposed plat includes lots that meet the dimensional standards of both the existing and proposed zoning districts. Additionally, the proposed B-2 Employment zoning aligns with the land use designation identified in the City's Comprehensive Plan. Based on these findings, staff is recommending approval of the requests, subject to the conditions outlined in the recommended action.

## **BACKGROUND**

The subject property was formerly part of the Rich Valley Golf Course, which was established in 1988 and located within an Agricultural zoning district. In 2021, Scannell Properties entered into an agreement to purchase the land from the Rahn family with the intent of redeveloping the area into a business park. The proposed development included a large regional distribution center, along with a series of smaller build-to-suit and speculative buildings designed to accommodate light manufacturing, warehousing, processing, assembly, and other light industrial or business park uses.

Due to the scale of the proposed distribution center, a mandatory Environmental Assessment Worksheet (EAW) was required. Given the overall size and long-term development potential of the site, the developer elected to evaluate the entire area through the Alternative Urban Areawide Review (AUAR) process rather than completing multiple EAWs—or a full Environmental Impact Statement (EIS)—for individual phases. The AUAR was subsequently adopted by the City Council in 2021.

In conjunction with the AUAR, the City Council approved a Comprehensive Plan Amendment, which was later approved by the Metropolitan Council, redesignating the southern portion of the site to BP-Business Park. The northern portion had already been guided for light industrial use; therefore, only a

rezoning from Agricultural to General Industrial was required to accommodate the distribution center.

In September 2021, applications for a site plan review, rezoning, and preliminary and final plats for a 548,000-square-foot warehouse and distribution facility were presented to the Planning Commission for review and recommendation. The Commission recommended approval, and the City Council subsequently considered and unanimously approved the requests in October 2021. Following approval, grading and construction commenced on the northern portion of the site, and the FedEx warehouse and distribution facility was completed in late 2024/early 2025.

## **ISSUE ANALYSIS**

### **Legal Authority**

Site Plan reviews are quasi-judicial in nature in that the Planning Commission reviews the site plan against the standards of the City Code and judges whether the applicable standards are met. Generally, if a site plan meets the code requirements it must be approved. Conditional Use Permit (CUP) approvals are also quasi-judicial in nature. The Zoning Ordinance contains specific standards related to conditional uses that must be met for a CUP to be approved. Rezoning is legislative in nature, which means the city has a wide discretion when deciding to approve or deny a request. That being said, if a requested rezoning is consistent with the City's Comprehensive Land Use Plan, it should generally be approved.

### **Rezoning**

In July 2021, the Planning Commission approved changing the land use designation for the portion of the site where this proposed project will be located, from RC – Regional Commercial to BP – Business Park. This change was subsequently approved by both the City Council and the Metropolitan Council in the fall of 2021.

The current rezoning request before the Planning Commission seeks to rezone 15.54 acres of land, previously reguided to BP – Business Park, from A-2 – Agricultural District to B-2 – Employment District. This area was not rezoned during the initial rezoning of the northern portion of the plat because no specific projects were proposed for it at that time. With the submission of the current project, the applicant now requests the rezoning to accommodate warehousing and distribution uses. The remaining 15 acres immediately west of the project site will continue to be zoned A-2 – Agricultural until a future rezoning request is submitted for development.

### **Site Layout**

The principal structure on the site will be a 250,000-square-foot warehouse and distribution facility, primarily composed of warehouse space with integrated office areas. The rectangular building will be centrally located on the site, with employee parking to the east and south, adjacent to Driver Avenue. Trailer parking will be provided on the east and west sides of the building and loading docks will be evenly distributed around the building's perimeter. Stormwater ponding was constructed during the first phase of development within the Rich Valley plat and is situated north of the site. The outdoor

storage area will be fully enclosed by an 8-foot-tall fence.

The applicant’s original site plan showed four access points. Two are located on Driver Avenue, providing entry to the east side of the building, including the office area, employee parking, and some truck parking and loading docks. The remaining two accesses are from 143rd Street to the north, which will be constructed as part of this project, and will provide access to the fenced outdoor storage area and associated truck docking areas. The applicant has been coordinating with City staff to address concerns regarding the two Driver Avenue accesses. Staff have requested that these be consolidated into a single access point, which the applicant is currently revising.

The site substantially exceeds the minimum setback requirements for the B-2 – Employment zoning district. The proposed setbacks compared to the minimum requirements are summarized in the table below.

Setback	Structures		Parking	
	Required	Proposed	Required	Proposed
Front	30 feet	285 feet	30 feet	84 feet
Side	10 feet	53/133 feet	10 feet	34/62 feet
Rear	10 feet	245 feet	10 feet	10 feet

**Exterior Materials and Massing**

The principal building will be constructed using precast concrete tilt-up panels and is designed with a combination of gray, white, and blue exterior colors. Current renderings indicate that the majority of the building will be blue, with the southeast corner housing the office space, in dark gray, and the roofline in white. The City’s zoning code includes architectural standards that limit the use of non-earth tone materials to accents or signage. Since the building’s primary color is non-earth tone, the applicant’s architect is revising the color scheme to comply with these standards. This requirement is included as a condition in the motions section of this report.

The building’s maximum height is proposed at 42 feet, which is below the 50-foot maximum allowed within the B-2 – Employment zoning district.

**Access and Parking**

The submitted site plan shows four access points to the site. Two accesses are located from Driver Avenue, extending west into the property, while the other two are from 143rd Street, which will be constructed along the northern edge of the parcel as part of this development. The Driver Avenue accesses provide entry to the employee parking areas and the truck parking and docking area on the eastern and southern portions of the site. An access road along the southern edge of the site also serves the fenced outdoor storage area on the western portion of the property. The 143rd Street accesses provide additional entry to the outdoor storage area from the north, which will also accommodate truck parking and docking.

City staff expressed concerns about the two Driver Avenue accesses, noting a preference for the primary site access to be from 143rd Street. The applicant is working with staff to revise the site plan to consolidate the Driver Avenue accesses into a single entry. This requirement has been included as a condition of approval in the recommended action section of this report.

The City Code requires a parking ratio of 1 stall per 2,000 square feet of gross floor area, which equates to 123 stalls for this project. The site plan currently provides 102 stalls, including 5 ADA-compliant spaces. While this represents a shortfall of 21 stalls, the applicant has submitted a proof-of-parking exhibit demonstrating how an additional 20 stalls could be added if necessary.

Required	Proposed
123 spaces @ 1/2,000sf gross floor area	102 Spaces

## Landscaping

The landscaping plan submitted by the applicant provides extensive plantings along three of the four sides of the site, as well as within the parking lot, in accordance with City Code requirements. The Code requires one tree per 3,000 square feet of land area, including boulevard trees spaced at 50-foot intervals. With a site area of 677,000 square feet, a total of 226 trees are required, and the landscape plan demonstrates compliance with this standard. Trees are proposed along the northern, eastern, and southern site perimeters, with additional plantings integrated into parking lot islands and along the internal east–west access road.

City Code requires one linear foot of foundation planting for every 10 linear feet of the principal building perimeter. For this building, that equates to 221 linear feet. The landscape plan, however, provides 400 linear feet of foundation plantings, primarily along the eastern and southern façades and throughout parking lot islands. The plan does not indicate whether the outdoor storage area is included in the calculation of required foundation plantings, which is a condition for the requested outdoor storage conditional use permit. The applicant will need to coordinate with staff to clarify this, noting that the overall provision of foundation plantings exceeds the minimum requirement.

Parking area landscaping is also regulated by the Code, which requires a minimum of 5% of the parking area to include landscaped islands and peninsulas. Based on a total parking area of 39,194 square feet, 1,810 square feet of landscaped space is required; the plan provides 2,950 square feet, exceeding the minimum. Additionally, the Code requires one tree per ten parking spaces, or 11 trees for this site. The landscape plan meets this requirement and also satisfies the screening requirements for parking and loading areas outlined in the Code.

**Landscape Requirements**

Requirement Calculation	Required	Provided
1 per 3,000 square feet of land area.	$677,000/3,000 = 226$ trees	226 trees
1 linear foot of foundation planting per 10 linear feet of building perimeter.	$2,206 \text{ feet}/10 \text{ feet} = 221$ linear feet	400 linear feet
5% of parking lot shall be landscaped	$39,194 \text{ sf} \times 5\% = 1,810 \text{ sf}$	2,950 sf landscaped area
1 tree per 10 parking spaces	$102 \text{ spaces}/10 = 11$ trees	11 trees

No significant trees were identified in areas contained within the demolition plan, and therefore no replacement trees are required as part of the landscaping plan.

**Site Lighting**

The applicant has submitted a site lighting plan along with a photometric analysis, demonstrating that lighting levels will not exceed 0.5 lumens at any residential property line or 1.0 lumens at any non-residential property line. The site lighting includes a combination of pole-mounted lights throughout the eastern and southern parking areas, as well as the outdoor storage area. Wall-mounted lighting is also proposed around the perimeter of the principal building. The maximum height for exterior lighting is 30 feet, and the submitted plan confirms that all site lighting will comply with this standard.

**Engineering**

The City’s engineering staff has reviewed the submitted plans and provided a memorandum, which is

attached, detailing their comments. The majority of the feedback pertains to utilities and stormwater management. The memorandum also notes that the applicant will need to provide an exhibit demonstrating fire truck turning movements on the site, and that all parking areas must comply with ADA accessibility requirements.

### **Conditional Use Permit**

A Conditional Use permit is required for this project to contain outdoor storage on site as outdoor storage is considered a conditional use within the B-2 – Employment zoning district. All conditional uses must meet seven general conditions in order to be permitted. These seven conditions are in addition to any use-specific conditions within the zoning ordinance. The standards are listed below along with staff findings of each.

1. Will not be detrimental to or endanger the public health, safety, or general welfare of the neighborhood or the city.

*Finding:* The public health, safety, or general welfare of the neighborhood or city will not be endangered by the proposed outdoor storage.

2. Will be harmonious with the objectives of the comprehensive plan and city code provisions.

*Finding:* The site is guided for Business Park uses and the requested zoning of B-2 -Employment is listed as an appropriate zoning classification for this site in the Comprehensive Plan. Office/warehouse and distribution centers are identified as appropriate uses.

3. Will be designed, constructed, operated and maintained so as to be compatible or similar in an architectural and landscape appearance with the existing or intended character of the general vicinity and will not change the essential character of that area, nor substantially diminish or impair property values within the neighborhood.

*Finding:* The principal structure is consistent in design and appearance with the neighboring warehouse and distribution center. The proposed outdoor storage will be landscaped and screened to minimize its impact on the existing character.

4. Will be served adequately by existing (or those proposed in the project) essential public facilities and services, including streets, police and fire protection, drainage, structures, refuse disposal, water and sewer systems and schools.

*Finding:* The site will be served by a combination of existing and new public infrastructure. The extension of 143rd Street westward from Driver Avenue has been planned since the initial development of the Rich Valley area. Additionally, existing utilities along the northern portion of the site will be utilized to serve the project.

5. Will not involve uses, activities, processes, material equipment and conditions of operation that will be hazardous or detrimental to any persons, property, or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare or odors.

*Finding:* The proposed use is not anticipated to involve hazardous or detrimental activities, processes, material equipment, or conditions of operation.

6. Will have vehicular ingress and egress to the property which does not create traffic congestion or interfere with traffic on surrounding public streets.

*Finding:* The site will be accessed via three points: one from Driver Avenue and two from 143rd Street. Locating the primary access points on these roads will help prevent traffic congestion on County Road 42.

7. Will not result in the destruction, loss or damage of a natural, scenic, or historic feature of major importance and will comply with all local, state, and federal environmental quality standards.

*Finding:* The site of the proposed use does not contain any natural scenic or historic features.

In addition to the above seven standards, the following standards apply for outdoor storage uses within the B-2 – Employment zoning district:

1. The storage area shall not take up, or interfere with access to, any required parking, loading, maneuvering, or pedestrian area.

*Finding:* The outdoor storage area will not interfere with access to any required parking, loading, maneuvering, or pedestrian area. The outdoor storage area is located on the western side of the site with no development to the west of that.

2. The storage area shall be maintained in a neat and orderly fashion.

*Finding:* It is in the interest of the applicant to ensure the area is maintained in a neat and orderly fashion. Any violations of this condition that are brought to the attention of City Staff will be enforced in accordance with standard procedures.

3. The outdoor display/storage or sales area shall be clearly identified on the approved site plan for the project, may only be located in either a side or rear yard, and shall not encroach into any required setback.

*Finding:* The fenced in outdoor storage area is shown on the site plan to be located in the rear yard area of the site, west of the principal building. The outdoor storage area shows to meet all setback requirements outlined within the City Code.

4. The square footage of the outdoor storage area (except those areas used for vehicle storage and not considered a required parking area) shall be included in calculation of required off-street parking for the use.

*Finding:* For warehousing and distribution purposes, this is not applicable, as off-street parking requirements for these uses are determined based on the gross floor area of the principal building.

5. The perimeter measurement of the outdoor storage area shall be included in the calculation of required foundation plantings.

*Finding:* The applicant's landscape plan does not consider the perimeter of the outdoor storage in its calculation of the amount of foundation plantings required. A condition of approval is that the landscape plan be updated to include those foundation planting, and they should be used to soften the appearance of the screening wall wherever possible.

6. The outdoor storage area is limited to an area equal to thirty percent (30%) of the gross area of the site.

*Finding:* The outdoor storage area is shown to be less than 30% of the gross area of the site.

7. The outdoor storage area shall be surfaced with concrete or an approved equivalent to control dust.

*Finding:* The storage area, as well as all improved areas of the site will be surfaced with either concrete or asphalt.

8. Any outdoor storage area shall be completely enclosed by screening as follows:
  - a. Any portion of an outdoor storage area adjacent to a public right-of-way or nonindustrial use or district shall be screened from eye level view from the public right-of-way or nonindustrial use or district by a one hundred percent (100%) opacity screen to a height equal to the items being screened but not more than thirty-five (35) feet.
    - i. Screening shall be accomplished by buildings, landscaping and berming, natural topography, screening walls or a combination thereof.
    - ii. Any screening wall shall be made of the same materials as the principal building and shall not extend more than seventy (70) feet without a change in architecture to reduce its mass and appearance.

*Finding:* The outdoor storage area is screened by the principal building to the east, substantial landscaping to the north and south, and an 8-foot perimeter fence. The land to the west is currently undeveloped; however, it is planned for future business park development, which will provide additional screening once constructed.

9. The portion(s) of outdoor storage area adjacent to an industrial use or district shall be required to be screened from eye level view from other industrial uses or districts by at least a fifty percent (50%) opacity screen to a height equal to the items being screened but not more than thirty-five (35) feet.
  - a. Screening shall be accomplished by any of the items listed in section [11-7-6](#) "Landscaping, Screening, and Buffering Standards" of this title or fencing.

*Finding:* The applicant submitted a storage yard exhibit as part of the landscape plan, illustrating the appearance of the outdoor storage area in relation to the proposed grading and the location of landscaping. The land to the west and north of the storage area is currently zoned A-2 - Agricultural, with the northern portion containing stormwater ponding. The outdoor storage area will be screened using a combination of fencing and landscaping.

**RECOMMENDATION**

This project represents the second phase of development within the Rich Valley area, following the first phase, the FedEx Distribution Center, in 2021. Staff is generally supportive of the site plan review, rezoning, and conditional use permit requests for the proposed warehouse and distribution facility. However, updated materials from the applicant are required before final approval can be granted. Staff is recommending either approval of the site plan review, rezoning, and conditional use permit with the condition that the applicant provides the necessary updated materials prior to City Council consideration, or continuation of the item to the May 26, 2026, Planning Commission meeting to allow the applicant additional time to submit the required updates.



# SITE DEVELOPMENT PLANS FOR ROSEMOUNT GOODIN

**14005 DRIVER AVE, ROSEMOUNT, MN 55068  
SECTION 30, TOWNSHIP 115, RANGE 18  
ROSEMOUNT, COUNTY, MN**

**PROJECT TEAM:**

ENGINEER  
KIMLEY-HORN AND ASSOCIATES, INC.



PREPARED BY: RACHEL A. VOGL, P.E.  
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TELEPHONE: (612) 431-2645

LANDSCAPE ARCHITECT  
CLARE KIBOKO, PLA  
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ST. PAUL, MN 55114  
TELEPHONE: (612) 568-0698

OWNER / DEVELOPER  
SCANNELL PROPERTIES



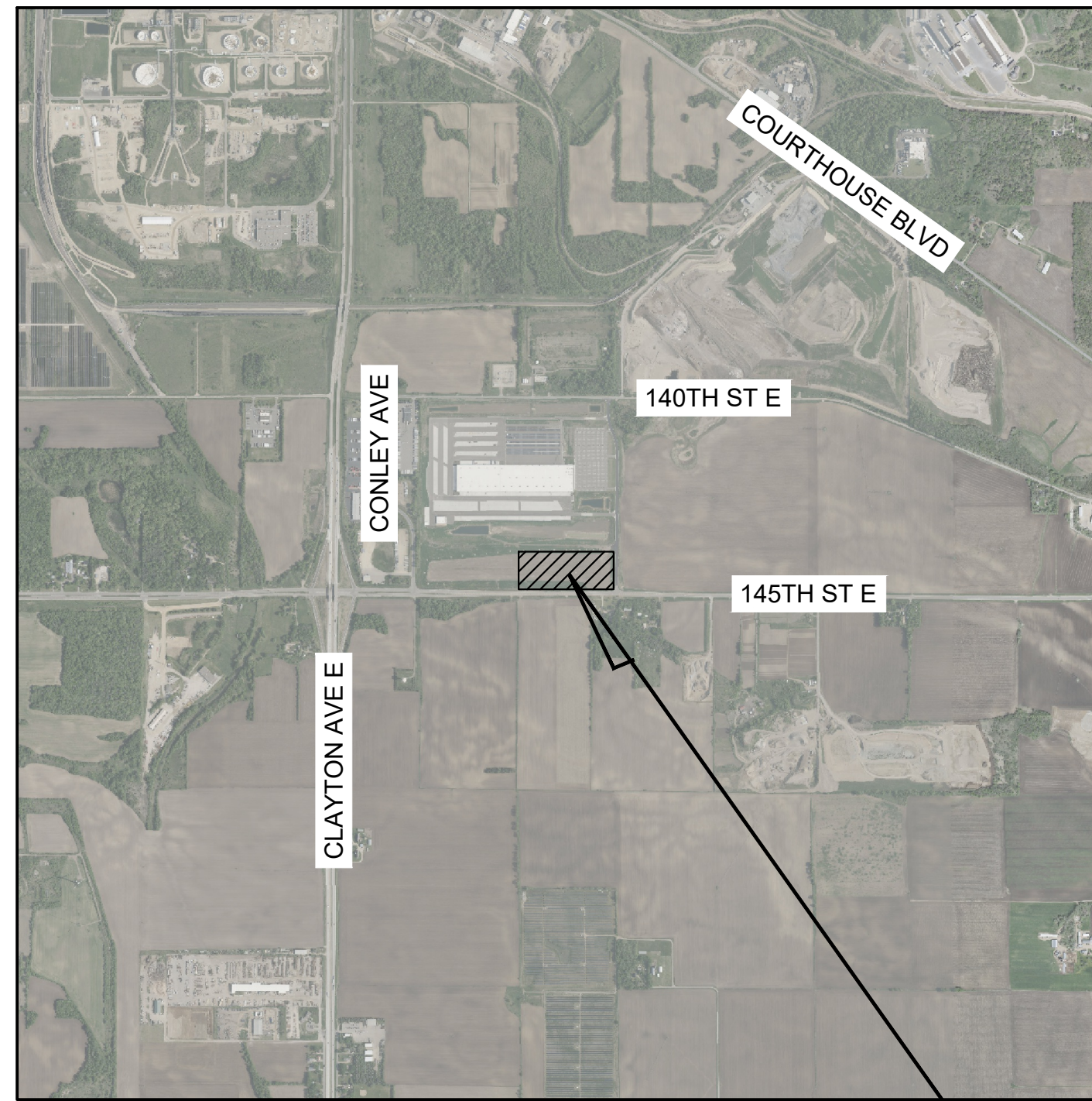
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SURVEYOR  
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CONTACT: CHRIS TERWEDO

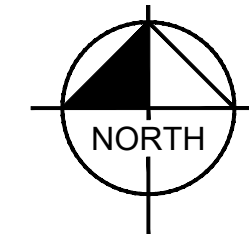
ARCHITECT  
POPE DESIGN GROUP



767 EUSTIC STREET, SUITE 190  
ST. PAUL, MN 55114  
TELEPHONE: (651) 789-1591  
CONTACT: JON LACASSE



**VICINITY  
N.T.S.**



**SITE**

Sheet List Table	
Sheet Number	Sheet Title
C000	COVER SHEET
C100	GENERAL NOTES
V100	EXISTING CONDITIONS SURVEY
C200	SITE DEMOLITION AND EROSION CONTROL PLAN - PHASE 1
C300	EROSION AND SEDIMENT CONTROL PLAN - PHASE 2
C301	EROSION AND SEDIMENT CONTROL DETAILS
C400	OVERALL SITE PLAN
C401	SITE PLAN
C402	SITE PLAN
C403	SITE DETAILS
C404	SITE DETAILS
C500	OVERALL GRADING PLAN
C501	GRADING AND DRAINAGE PLAN
C502	GRADING AND DRAINAGE PLAN
C503	OVERALL STORM SEWER PLAN
C504	STORM SEWER PLAN
C505	STORM SEWER PLAN
C506	GRADING DETAILS
C600	OVERALL UTILITY PLAN
C601	UTILITY PLAN
C602	UTILITY PLAN
C603	UTILITY DETAILS
L100	OVERALL LANDSCAPE PLAN
L101	LANDSCAPE PLAN
L102	LANDSCAPE PLAN
L103	STORAGE YARD SECTION
L200	LANDSCAPE DETAILS
L500	LANDSCAPE SCHEDULE

**NOTES:**

- CONTRACTOR SHALL CONFIRM THAT THE EXISTING CONDITIONS FOR THE SITE MATCH WHAT IS SHOWN ON THE DRAWINGS INCLUDED PRIOR TO CONSTRUCTION.
- IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 22x34 SHEET.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

**BENCHMARKS**

**SITE BENCHMARK:**  
(LOCATION SHOWN ON SURVEY)

SBM #1 TOP OF 5/8" REBAR WITH EFN CAP AT THE SOUTH SIDE OF COUNTY STATE AID HIGHWAY NO. 42  
ELEVATION= 899.28 FT (NAVD88)



No.	REVISIONS	DATE	BY

**Kimley Horn**  
2026 KIMLEY-HORN AND ASSOCIATES, INC.  
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-445-4197  
WWW.KIMLEY-HORN.COM

KHA PROJECT 160946047	DATE 03/18/2026	SCALE AS SHOWN	DESIGNED BY RAV	DRAWN BY WLE	CHECKED BY RAV
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**COVER SHEET**

ROSEMOUNT GOODIN  
PREPARED FOR  
SCANNELL PROPERTIES  
ROSEMOUNT MN

SHEET NUMBER  
**C000**

PRELIMINARY - NOT FOR CONSTRUCTION

### GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS MANUAL FOR THE CITY OF ROSEMOUNT, MN AND MN DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK. UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
- PERFORM ALL WORK IN COMPLIANCE WITH APPLICABLE CITY REGULATIONS, STATE CODES, AND O.S.H.A. STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING THE NECESSARY MATERIALS & LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS, AND IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE APPROPRIATE APPROVING AUTHORITIES.
- CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- THE EXISTING SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS QUALITY LEVEL "D" UNLESS OTHERWISE NOTED. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ACSE 38/02, ENTITLED STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF SUBSURFACE QUALITY DATA BY THE F.H.A. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER DIRECTLY FROM THE TESTING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
- ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
- ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- SHOULD CONTRACTOR ENCOUNTER ANY DEBRIS LADEN SOIL, STRUCTURES NOT IDENTIFIED IN THE DOCUMENTS, OR OTHER SOURCE OF POTENTIAL CONTAMINATION, THEY SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER.
- CONTRACTOR SHALL NOTIFY OWNER AND/OR ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES: PRE-CONSTRUCTION MEETING, SUBGRADE PREPARATION, BASE INSTALLATION, ASPHALT INSTALLATION, UNDERGROUND PIPING AND UTILITIES INSTALLATION, INSTALLATION OF STRUCTURES, CHECK VALVES, HYDRANTS, METERS, ETC., SIDEWALK INSTALLATION, CONNECTIONS TO WATER AND SEWER MAINS, TESTS OF UTILITIES.

### THIRD PARTY SUPPLEMENTAL INFORMATION

KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED WITHIN SUPPLEMENTAL INFORMATION PROVIDED BY THIRD PARTY CONSULTANTS.

- BOUNDARY & TOPOGRAPHIC SURVEY**  
PERFORMED BY: EGAN, FIELD & NOWAK INC.  
ADDRESS: 475 OLD HIGHWAY 8 NW  
NEW BRIGHTON, MN 55112  
PHONE: 612-466-3368  
DATED: 02/09/2026
- CONSTRUCTION TESTING**  
TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:
  - DENSITY TEST REPORTS
  - BACTERIOLOGICAL TESTS OF WATER SYSTEM
  - PRESSURE TEST OF WATER/SEWER
  - LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS
  - ANY OTHER TESTING REQUIRED BY THE AGENCY/MUNICIPALITY

### EROSION CONTROL NOTES

- THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS NEEDED TO PREVENT EROSION AND OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.
- BMP'S SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION AS REQUIRED BY ALL JURISDICTIONS UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A CERTIFIED PERSON AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5-INCH OR GREATER RAINFALL EVENT.
- EROSION & SEDIMENT CONTROL BMP'S SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING:
  - INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
  - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO VERIFY THAT A HEALTHY STAND OF VEGETATION IS MAINTAINED. SEEDING AREAS SHOULD BE FERTILIZED, WATERED AND RE-SEEDING AS NEEDED. REFER TO THE LANDSCAPE PLAN AND PROJECT SPECIFICATIONS.
  - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.
  - THE ROCK CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC ADDITIONS OF ROCK TOP DRESSING AS CONDITIONS DEMAND.
  - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC ADDITIONS OF TOP DRESSING IF THE TEMPORARY PARKING CONDITIONS DEMAND.
  - PERFORM ALL MAINTENANCE OPERATIONS IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

### PAVING AND STRIPING NOTES

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL CITY OR COUNTY SPECIFICATIONS AND STANDARDS, OR THE STATE DOT SPECIFICATIONS AND STANDARDS IF NOT COVERED BY LOCAL CITY OR COUNTY REGULATIONS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D) AND CITY STANDARDS.
- CONTRACTOR SHALL FURNISH ALL PAVEMENT MARKINGS FOR FIRE LANES, ROADWAY LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, ACCESS AISLES, STOP BARS AND SIGNS, AND MISCELLANEOUS STRIPING WITHIN THE PARKING LOT AS SHOWN ON THE PLANS.
- ALL EXPANSION JOINTS SHALL EXTEND THROUGH THE CURB.
- THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS SHALL BE 2 FEET.
- ALL JOINTS, INCLUDING EXPANSION JOINTS WITH REMOVABLE TACK STRIPS, SHALL BE SEALED WITH JOINT SEALANT.
- THE MATERIALS AND PROPERTIES OF ALL CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN THE A.C.I. (AMERICAN CONCRETE INSTITUTE) MANUAL OF CONCRETE PRACTICE.
- CONTRACTOR SHALL APPLY A SECOND COATING OVER ALL PAVEMENT MARKINGS PRIOR TO ACCEPTANCE BY OWNER FOLLOWED BY A COAT OF GLASS BEADS AS APPLICABLE PER THE PROJECT DOCUMENTS.
- ANY EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER.
- BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY SUITABLE ACCESSIBLE ROUTES (PER A.D.A). GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
- MAXIMUM JOINT SPACING IS TWICE THE DEPTH OF THE CONCRETE PAVEMENT IN FEET.

### GRADING AND DRAINAGE NOTES

- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL ADJUST BMP'S AS NECESSARY AND REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS SO THAT SURFACE RUNOFF WILL DRAIN BY GRAVITY TO NEW OR EXISTING DRAINAGE OUTLETS. CONTRACTOR SHALL ENSURE NO PONDING OCCURS IN PAVED AREAS AND SHALL NOTIFY ENGINEER IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OR UTILITIES.
- CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION. EXISTING CASTINGS AND STRUCTURES TO REMAIN SHALL BE ADJUSTED TO MATCH THE PROPOSED FINISHED GRADES.
- BACKFILL FOR UTILITY LINES SHALL BE PLACED PER DETAILS, STANDARDS, AND SPECIFICATIONS SO THAT THE UTILITY WILL BE STABLE. WHERE UTILITY LINES CROSS THE PARKING LOT, THE TOP 6 INCHES SHALL BE COMPACTED SIMILARLY TO THE REMAINDER OF THE LOT. UTILITY DITCHES SHALL BE VISUALLY INSPECTED DURING THE EXCAVATION PROCESS TO ENSURE THAT UNDESIRABLE FILL IS NOT USED.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF 4" OF TOPSOIL AT COMPLETION OF WORK. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
- AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORM RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT FULL DEPTH FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- THE CONTRACTOR SHALL INSTALL PROTECTION OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO MN/DOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDING AS SPECIFIED IN THE PLANS. FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL GROWTH IS ESTABLISHED TO MINIMUM COVERAGE OF 70% IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDING AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- THE CONTRACTOR SHALL ENSURE THAT LANDSCAPE ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS AND MN/DOT SPECIFICATIONS.
- PAVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATION OF THE SITE SPECIFIC GEOTECHNICAL EVALUATION REPORT AND CITY & MN/DOT SPECIFICATIONS.
- SPOT ELEVATIONS REPRESENT THE FINISHED SURFACE GRADE OR FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
- LIMITS OF CONSTRUCTION ARE TO THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED ON THE PLAN.
- IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION WITHOUT COMPENSATION.
- BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- ALL PROPOSED GRADES ONSITE SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS. ANY SLOPES STEEPER THAN 4:1 REQUIRE EROSION AND SEDIMENT CONTROL BLANKET.
- ADHERE TO ALL TERMS AND CONDITIONS AS NECESSARY IN THE GENERAL N.P.D.E.S. PERMIT AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

### WATER STORM SEWER & SANITARY SEWER NOTES

- THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPE CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I.L PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- WATER FOR FIRE FIGHTING SHALL BE MADE AVAILABLE FOR USE BY THE CONTRACTOR PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- ALL EXISTING AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- UNDERGROUND UTILITY LINES SHALL BE SURVEYED BY A STATE LICENSED PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
- CONTRACTOR SHALL PERFORM, AT THEIR OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.
- BETWEEN WATER AND SEWER MANHOLES AND PIPES, CONTRACTOR SHALL PROVIDE FOR A MINIMUM HORIZONTAL CLEARANCE OF 10-FEET AND A MINIMUM VERTICAL SEPARATION OF 18-INCHES.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GASKETED AND/OR GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT UNLESS OTHERWISE STATED BY CITY AND STATE DESIGN STANDARDS AND SPECIFICATIONS.
- UNLESS OTHERWISE STATED IN CITY AND STATE DESIGN STANDARDS AND SPECIFICATIONS, ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER". EXISTING CASTINGS AND STRUCTURES WITHIN PROJECT LIMITS SHALL BE ADJUSTED TO MEET THESE CONDITIONS AND THE PROPOSED FINISHED GRADE.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR FROM INVERT IN TO INVERT OUT.
- ROOF DRAINS SHALL BE CONNECTED TO STORM SEWER BY PREFABRICATED WYES OR AT STORM STRUCTURES. ROOF DRAINS AND TRUCK WELL DRAIN SHALL RUN AT A MINIMUM 2.0% SLOPE, UNLESS NOTED OTHERWISE, AND TIE IN AT THE CENTERLINE OF THE STORM MAIN.
- PROVIDE INSULATION OF UNDERGROUND ROOF DRAINS AND SANITARY SEWER SERVICES IF ADEQUATE FROST DEPTH CANNOT BE PROVIDED.
- THE CONTRACTOR SHALL PROTECT EXISTING UNDERGROUND UTILITIES AND APPURTENANCES THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
- THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES AND OTHER ABOVE AND BELOW-GRADE IMPROVEMENTS ARE APPROXIMATE AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE AND INVERT ELEVATIONS OF EACH PRIOR TO THE START OF CONSTRUCTION.
- A MINIMUM SEPARATION OF 5-FEET IS REQUIRED BETWEEN UNDERGROUND UTILITIES AND TREES UNLESS A ROOT BARRIER IS UTILIZED.
- GAS, PHONE AND ELECTRIC SERVICES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DRY UTILITY COMPANIES MAY ALTER THE DESIGN LAYOUT DURING THEIR REVIEW. CONTRACTOR TO COORDINATE FINAL DESIGN AND INSTALLATION WITH UTILITY COMPANIES.
- COORDINATE UTILITY INSTALLATION WITH IRRIGATION DESIGN AND INSTALLATION.
- ALL DIMENSIONS ARE TO FLOW LINE OF CURB UNLESS OTHERWISE NOTED. PERIMETER WALL DIMENSIONS ARE TO INSIDE WALL FACE. REFERENCE ARCHITECTURAL PLANS FOR EXACT WALL WIDTH AND SPECIFICATIONS.
- REFERENCE ARCHITECTURAL PLANS (BY OTHERS) FOR EXACT BUILDING DIMENSIONS, MATERIALS SPECIFICATIONS.
- REFERENCE M.E.P. PLANS (BY OTHERS) FOR MECHANICAL EQUIPMENT DIMENSIONS AND SPECIFICATIONS.
- CONTRACTOR SHALL REFERENCE STRUCTURAL PLANS (BY OTHERS) FOR FOOTING AND FOUNDATION PAD PREPARATION SPECIFICATIONS.
- CONTRACTOR SHALL REFERENCE M.E.P PLANS (BY OTHERS) FOR ROUTING OF PROPOSED ELECTRICAL & COMMUNICATIONS SERVICES AND SITE LIGHTING LAYOUT.

PRELIMINARY - NOT FOR CONSTRUCTION

		KHA PROJECT 160946047		DATE 03/18/2026		SCALE AS SHOWN		DESIGNED BY RAV		DRAWN BY WLE		CHECKED BY RAV			
		SHEET NUMBER <b>C100</b>		PREPARED FOR <b>ROSEMOUNT GOODIN</b>		SHEET NUMBER <b>C100</b>		DESIGNED BY RAV		DRAWN BY WLE		CHECKED BY RAV			
2026 KIMLEY-HORN AND ASSOCIATES, INC. 767 EUBES STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-945-4197 WWW.KIMLEY-HORN.COM												REVISIONS		DATE	
GENERAL NOTES												NO.		DATE	
ROSEMOUNT PREPARED FOR <b>SCANNELL PROPERTIES</b> ROSEMOUNT MN												NO.		DATE	

**CERTIFICATE OF SURVEY FOR:  
Kimley - Horn & Associates, Inc.**

**LEGAL DESCRIPTION:**

Outlot C, Rich Valley First Addition, Dakota County, Minnesota  
(Abstract Property)

**GENERAL SURVEY NOTES:**

- The orientation of this bearing system is based on the Dakota County coordinate grid (NAD 83-2011 Adj).
  - The legal description and easement information used in the preparation of this survey is based on the Commitment for Title Insurance prepared by First American Title Insurance Company, Commitment No. NCS-1290995-CH2 dated December 30, 2025.
  - The property described hereon lies within AREA OF MINIMAL FLOOD HAZARD per Un-Printed Federal Insurance Rate Map No. 27037C 0235 E, dated December 02, 2011.
  - The total area of the property described hereon is 1,559,156 square feet or 35.79330 acres.
  - The contours depicted hereon are per elevation data collected while conducting the fieldwork. The contour interval is 1 foot.
- BENCHMARK:** Top of Minnesota Department of Transportation Geodetic Monument 8 RDS.  
Elevation = 896.82 feet. (NAVD88)
- SITE BENCHMARK:** Top of 5/8 rebar with EFN cap at the south side of County State Aid Highway No. 42.  
Elevation = 899.28 feet. (NAVD88)
- Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket No. 260160386. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
  - The surveyed property has direct access to Driver Avenue, a public right of way. The surveyed property has access to Conley Avenue, a public right of way, via an access easement per Document No. 3566962.
  - This survey shows only those Improvements visible during the field survey, some structures and improvements covered by ice and snow, or underground may not be shown.
  - Per client request, the topographical survey depicted hereon covers a portion of the surveyed property only.

**SURVEY ITEMS PER SCHEDULE B:**

- ITEM 12.** Public right of way for County Road State Aid Highway No. 42 as established and maintained on the date hereof, including but not limited to the portions of said right of way described in the following documents:
- Dakota County Road Right of Way Map No. 21, dated October 2, 1986, recorded October 14, 1986, as Document No. 746815, as affected by Amendment to Dakota County Road Right of Way Map No. 21, dated August 5, 1987, recorded August 13, 1987, as Document No. 800894, and by Amendment to Dakota County Road Right of Way Map No. 21, dated February 16, 1988, recorded February 16, 1988, as Document No. 826934;
  - Highway Easement, dated September 2, 1987, recorded September 16, 1987, as Document No. 806077;
  - Highway Easement, dated September 2, 1987, recorded September 16, 1987, as Document No. 806078;
  - Highway Easement, dated June 19, 1990, recorded July 30, 1990, as Document No. 948905;
  - Dakota County Right of Way Map No. 340, dated August 2, 2016, recorded August 4, 2016, as Document No. 3141998; and
  - Highway Easement, dated August 15, 2016, recorded November 10, 2016, as Document No. 3161041.
- Said public right of way adjoins the surveyed property to the south as depicted hereon and does not affect the surveyed property.
- ITEM 13.** Easements, notes, covenants, restrictions and rights-of-way as shown on the plat of Rich Valley First Addition, recorded October 06, 2022, as Document No. 3561515.
- There are no easements or rights of way on said plat affecting the surveyed property.
- ITEM 14.** Terms and provisions as contained in the Subdivision Agreement, Rich Valley 1st Addition, dated August 16, 2022, recorded October 06, 2022, as Document No. 3561516.
- Said terms and conditions affect the surveyed property. No plottable items to depict.
- ITEM 15.** Terms and conditions of the document as contained in the Quit Claim Deed, dated September 26, 2022, recorded October 06, 2022, as Document No. 3561518.
- Restricted access to County State Aid Highway 42 per said document affects the surveyed property and is depicted hereon.
- ITEM 16.** Terms and provisions as contained in the Declaration of Common Maintenance and Cross-Easements Agreement, dated October 26, 2022, recorded November 17, 2022, as Document No. 3566962.
- Drainage and utility easements per said document benefit the surveyed property and cover areas designated as drainage and utility easement on the plats of RICH VALLEY FIRST ADDITION and RICH VALLEY INDUSTRIAL PARK SECOND ADDITION. Access easements per said document affect and benefit the surveyed property and are depicted hereon.
- ITEM 17.** Any right, title, or interest in any minerals, mineral rights, or any other subsurface substances or related matters, whether or not the matters are shown by the public records

**GOPHER STATE ONE CALL NOTE:**

List of utilities notified per Gopher State One Call Ticket No. 260160386.

ARVIG - ACSMSP01  
CHARTER COMMUNICATIONS - CHARTR12  
CITY OF ROSEMOUNT - CRSMNT01  
CENTURYLINK - CTLQL - CTLMN01  
DAKOTA COUNTY IT DEPT - DAKOTA01  
FLINT HILLS RESOURCES, LC - KOCHPL01

MINNESOTA ENERGY RESOURCES - MERC38  
MIDCONTINENT COMMUNICATIONS - MIDCBL21  
NORTHERN NATURAL GAS - NNGAS02  
LEVEL 3 NOW LUMEN - WLMTCM01  
XCEL ENERGY - XCEL11

**LEGEND:**

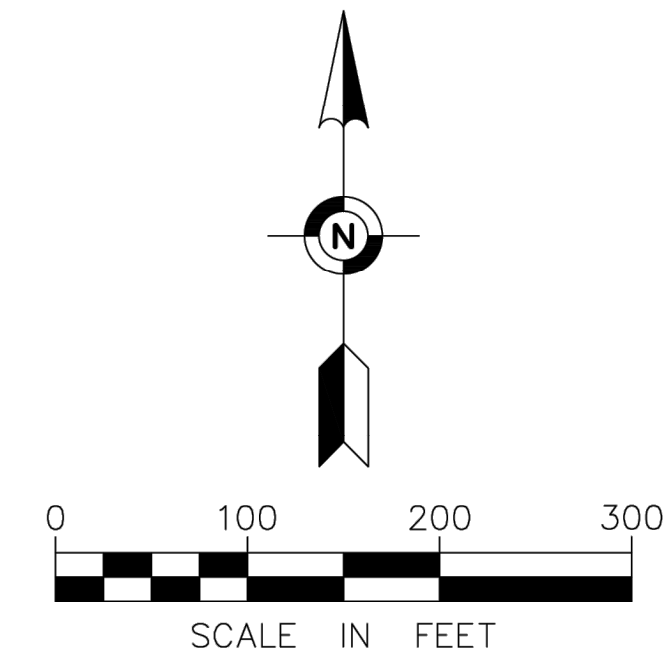
- FOUND IRON MONUMENT
- ⊕ BENCHMARK
- ⊙ SET IRON MONUMENT MARKED WITH LICENSE NUMBER 53536
- ⊙ SET MASONRY NAIL
- ⊙ SANITARY MANHOLE
- ⊙ CATCH BASIN
- ⊙ GATE VALVE
- ⊙ HYDRANT
- ⊙ SIGN
- △ LIMITED ACCESS
- SANITARY SEWER
- SS → STORM SEWER
- W → WATERMAIN
- CHW — OVERHEAD WIRE
- EXISTING CONTOUR LINE
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- RIP RAP SURFACE

**CERTIFICATION:**

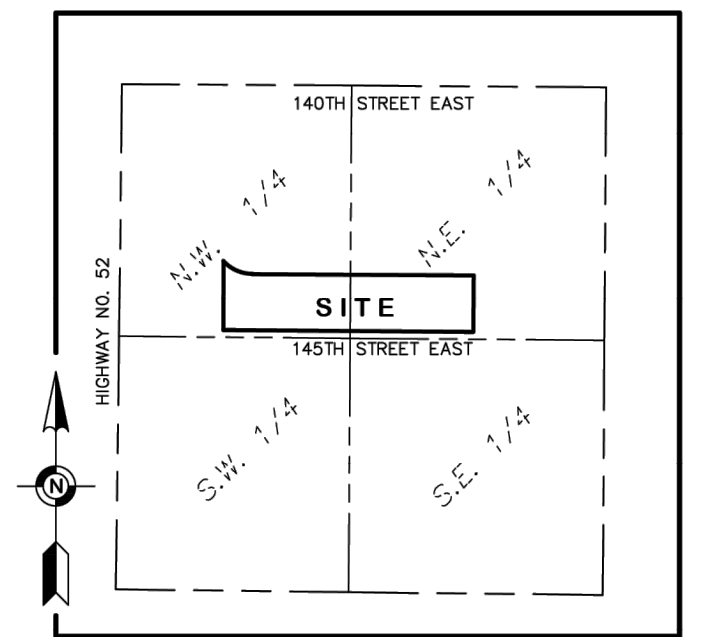
I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date of survey: February 9, 2026.  
Date of signature: February 11, 2026.

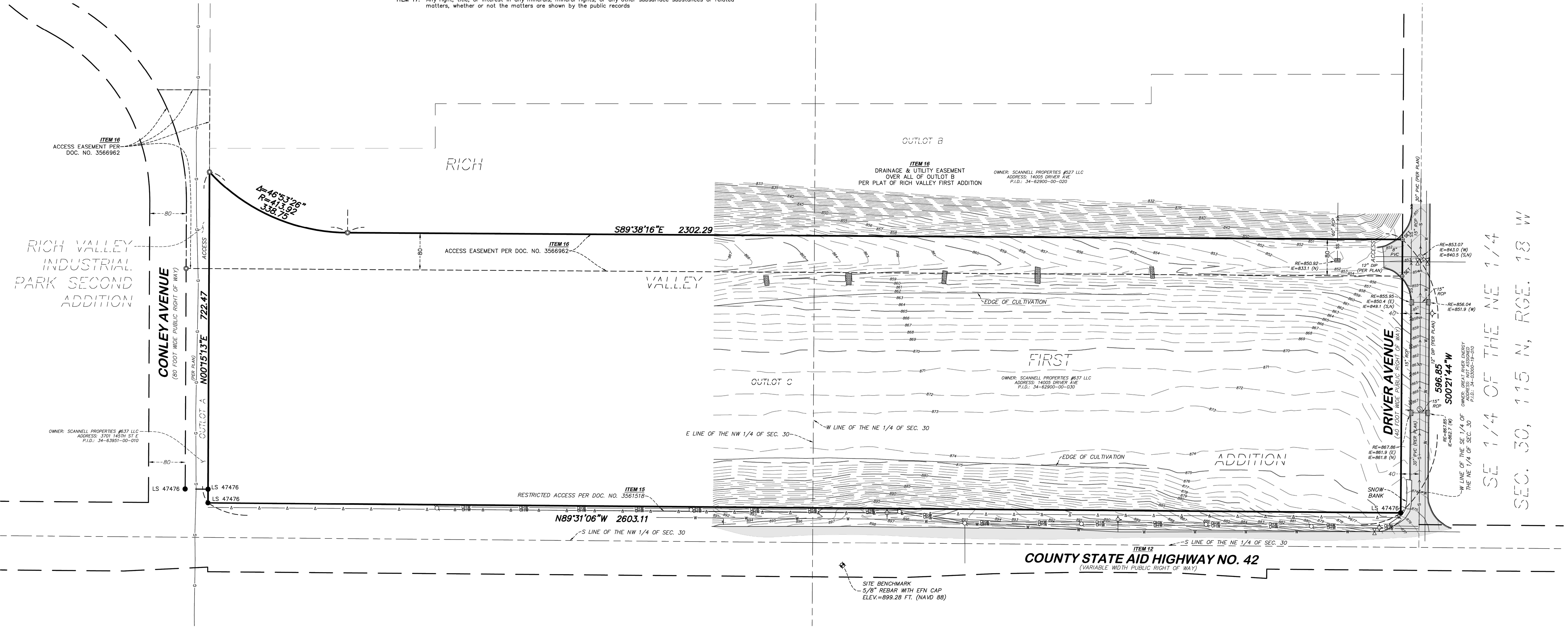
*Christopher A. Terwedo*  
Christopher A. Terwedo  
Minnesota License No. 53536  
cterwedo@efnsurvey.com



**SECTION 30, T 115 N, R 18 W**



**VICINITY MAP**  
NO SCALE



FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS	
		AV, JW	NO.	DATE
		DRAWN BY:		DESCRIPTION
		DL		
DRAWING NAME:				
43164 Cert.dwg				
JOB NO. 43164				
FILE NO. 5859				
		CHECKED BY:		
		CAI		

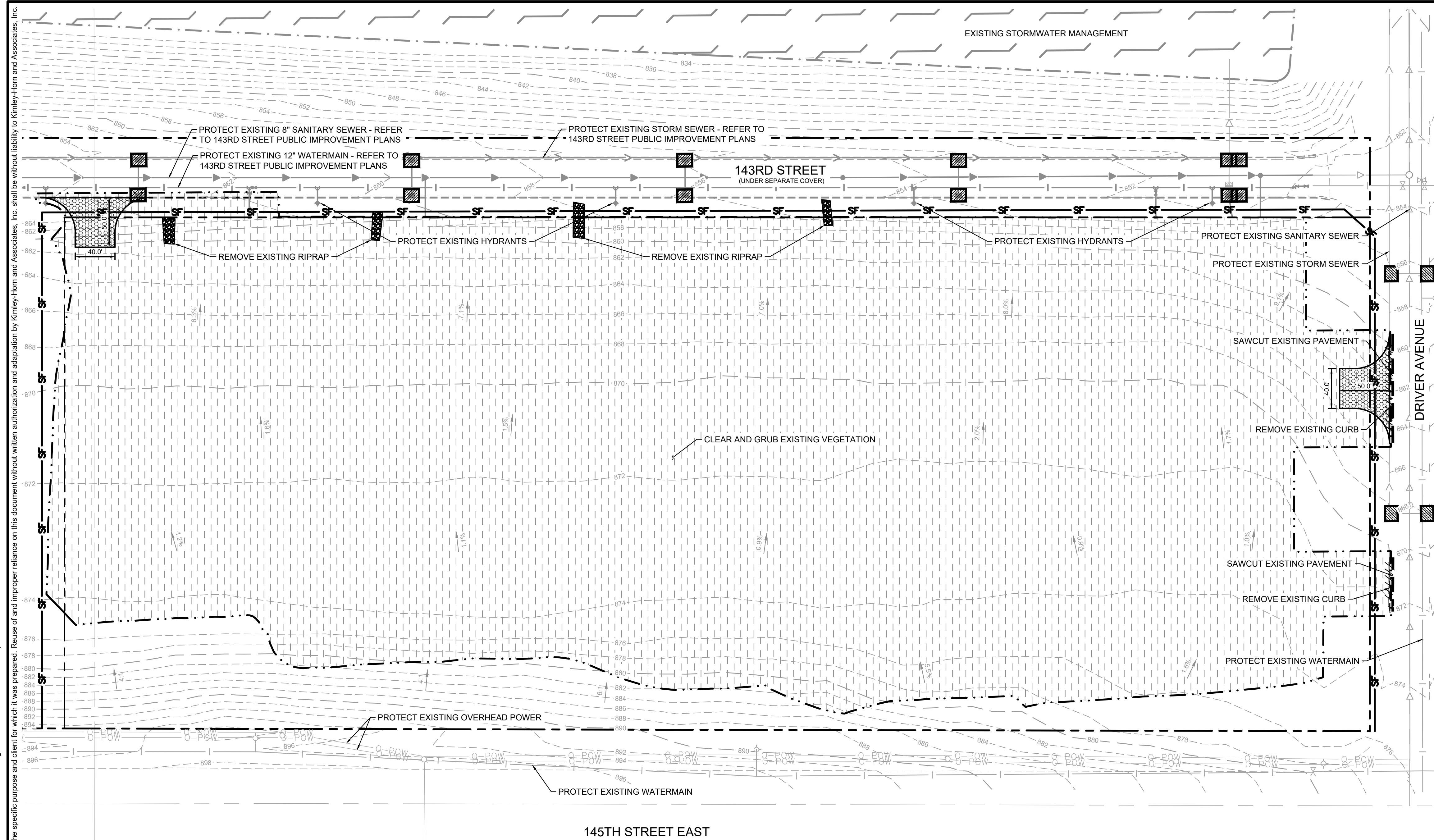
**CERTIFICATE OF SURVEY**

**SURVEY FOR:**  
**Kimley - Horn & Associates, Inc.**

**PROPERTY ADDRESS:**  
14005 Driver Avenue  
Rosemount, Minnesota 55068  
Dakota County Tax PID 34-62900-00-030

**Egan, Field & Nowak, Inc.**  
475 Old Highway 8 NW, Suite 200  
New Brighton, Minnesota 55112  
Phone: (612) 466-3300  
WWW.EFNSURVEY.COM  
COPYRIGHT © 2026 BY EGAN, FIELD & NOWAK, INC.  
land surveyors since 1872

K:\TWC\_LDEV\Scannell\Rosemount - Goodin\3 Design\CAD\PlanSheets\IC2 - DEMO AND EROS PH1 PLAN.dwg March 18, 2026 - 5:25pm



### DEMOLITION PLAN NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER AND IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEMOLITION AND DISPOSAL FROM THE APPROPRIATE LOCAL AND STATE AGENCIES. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE, INCLUDING THE TYPE OF DEBRIS AND LOCATION WHERE IT WAS DISPOSED.
- THE CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES TO PROVIDE LOCATIONS OF EXISTING UTILITIES WITHIN PROPOSED WORK AREA.
- EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD PLAN DATA AND/OR FIELD UTILITY MARKINGS AND ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION. ADDITIONAL UNMARKED OBSTACLES MAY EXIST ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED UNDERGROUND FEATURES. GIVE NOTICE TO AFFECTED UTILITY COMPANIES REGARDING REMOVAL OF SERVICE LINES AND CAP ANY ABANDONED LINES BEFORE PRECEDING WITH THE PROPOSED WORK.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH THE CITY, COUNTY, AND STATE DOT AS NECESSARY.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ADJACENT PROPERTY OWNERS IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
- PRIOR TO THE START OF DEMOLITION, INSTALL EROSION CONTROL BMP'S IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLANS / SWPPP.
- CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT OR CURB, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE CITY WATER AND FIRE DEPARTMENTS TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE AND SURROUNDING PROPERTIES THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH STATE REQUIREMENTS.
- IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAINILE IS ENCOUNTERED ON SITE. ACTIVE DRAINILE SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.
- IF CONTAMINATED MATERIAL IS ENCOUNTERED ON THE PROJECT SITE, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER AND ENGINEER IMMEDIATELY.

### EROSION CONTROL PLAN NOTES

- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
- THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
- WITHIN TWO WEEKS (14 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, STATE, AND WATERSHED DISTRICT PERMITS.
- THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
- ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
- REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
- THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS AND SHALL SWEEP ADJACENT STREETS AS NECESSARY IN ACCORDANCE WITH CITY REQUIREMENTS.
- IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.

### SEQUENCE OF CONSTRUCTION:

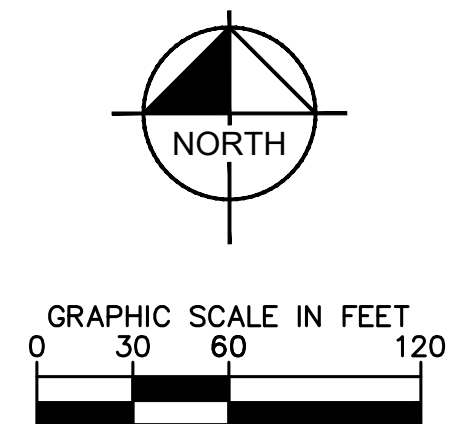
- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:
- INSTALL INLET PROTECTION AT EXISTING STORMWATER CULVERTS.
  - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (2), CONCRETE WASHOUT PIT (1) AND INSTALL SILT FENCE.
  - PREPARE TEMPORARY PARKING AND STORAGE AREA.
  - CONSTRUCT AND STABILIZE DIVERSIONS AND TEMPORARY SEDIMENT TRAPS.
  - PERFORM CLEARING AND GRUBBING OF THE SITE. PERFORM MASS GRADING.
  - ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
  - START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
  - TEMPORARILY SEED WITH PURE LIVE SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE OR AS REQUIRED BY NPDES AND/OR CITY OF ROSEMOUNT GRADING PERMIT.

### LEGEND

- PROPERTY LINE
- CLEARING & GRUBBING
- LIMITS OF CONSTRUCTION
- EXISTING OVERHEAD POWER LINE
- EXISTING STORM SEWER
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING HYDRANT
- EXISTING SANITARY MANHOLE
- EXISTING POWER POLE
- EXISTING STORM CATCH BASIN
- ROCK ENTRANCE
- INLET PROTECTION
- SILT FENCE
- FULL DEPTH SAWCUT
- REMOVE CONCRETE CURB AND GUTTER

AREA SUMMARY	
TOTAL PROPERTY AREA	15.54 AC / 676,900 SF
EXISTING IMPERVIOUS AREA	0.00 AC / 0 SF
EXISTING PERVIOUS AREA	15.54 AC / 676,900 SF
PROPOSED IMPERVIOUS AREA	10.47 AC / 456,100 SF
PROPOSED PERVIOUS AREA	5.07 AC / 220,800 SF
TOTAL DISTURBED AREA	13.73 AC / 598,400 SF

PHASE I BMP QUANTITIES	
SILT FENCE	±2,400 LF
INLET PROTECTION	16 EA
ROCK CONSTRUCTION ENTRANCE	2 EA



PRELIMINARY - NOT FOR CONSTRUCTION

ROSEMOUNT GOODIN  
PREPARED FOR  
SCANNELL PROPERTIES  
ROSEMOUNT MN

DATE: 03/18/2026  
SCALE: AS SHOWN  
DESIGNED BY: RAV  
DRAWN BY: WLE  
CHECKED BY: RAV

PROJECT: 160946047

DATE: 03/18/2026

SCALE: AS SHOWN

DESIGNED BY: RAV

DRAWN BY: WLE

CHECKED BY: RAV

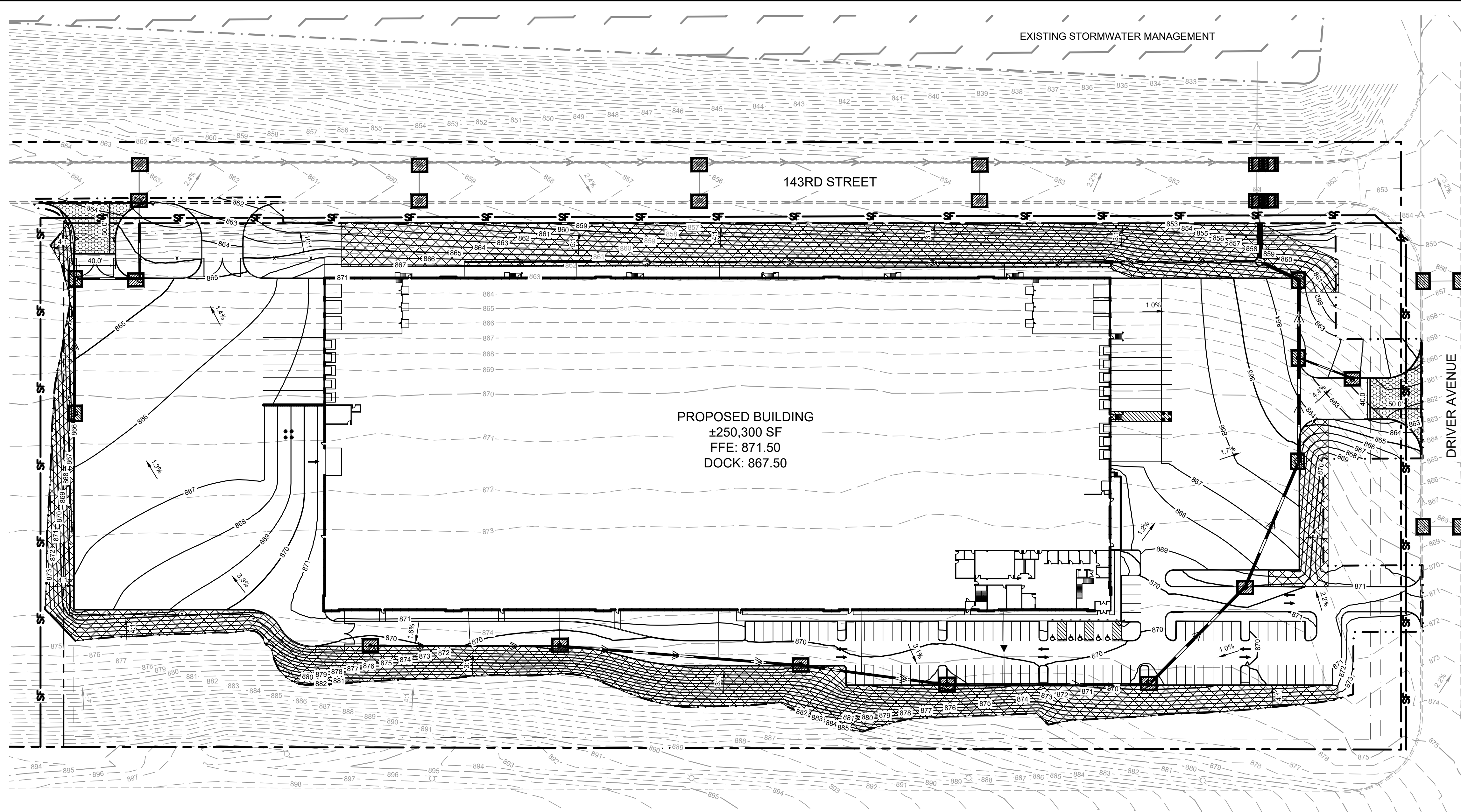
SHEET NUMBER  
**C200**

REVISIONS

No.	REVISIONS	DATE	BY

© 2026 KIMLEY-HORN AND ASSOCIATES, INC.  
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-454-1977  
WWW.KIMLEY-HORN.COM

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PROPOSED BUILDING  
±250,300 SF  
FFE: 871.50  
DOCK: 867.50

EXISTING STORMWATER MANAGEMENT

143RD STREET

DRIVER AVENUE

145TH STREET EAST

**LEGEND**

	PROPERTY LINE
	EROSION CONTROL BLANKET
	LIMITS OF DISTURBANCE
	ROCK ENTRANCE
	INLET PROTECTION
	SILT FENCE

**AREA SUMMARY**

TOTAL PROPERTY AREA	15.54 AC / 676,900 SF
EXISTING IMPERVIOUS AREA	0.00 AC / 0 SF
EXISTING PERVIOUS AREA	15.54 AC / 676,900 SF
PROPOSED IMPERVIOUS AREA	10.47 AC / 456,100 SF
PROPOSED PERVIOUS AREA	5.07 AC / 220,800 SF
TOTAL DISTURBED AREA	13.73 AC / 598,400 SF

**PHASE II BMP QUANTITIES**

SILT FENCE	±2,400 LF
INLET PROTECTION	29 EA
ROCK CONSTRUCTION ENTRANCE	2 EA
EROSION CONTROL BLANKET	±97,650 SF

**EROSION CONTROL PLAN NOTES**

- THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH LAND DISTURBING ACTIVITIES SHALL OBTAIN A COPY OF THE SWPPP AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT, AND BECOME FAMILIAR WITH THEIR CONTENTS.
- BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY, ENGINEER OR OWNER.
- SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC ROADWAY FROM THE CONSTRUCTION SITE MUST BE REMOVED AS SOON AS PRACTICABLE. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ANY FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO A PUBLIC RIGHT OF WAY SHALL BE PAID BY THE CONTRACTOR.
- TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
- THE CONTRACTOR SHALL MINIMIZE LAND DISTURBANCE AND CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- CONTRACTOR SHALL DENOTE ON THE PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER FROM THE CONSTRUCTION SITE (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED BEFORE DISPOSAL.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED OUTSIDE OF DRAINAGE WAYS SUCH THAT STORM WATER RUNOFF WILL NOT BE ADVERSELY AFFECTED. PROVIDE STABILIZATION MEASURES SUCH AS PERIMETER EROSION CONTROL BMPs, SEEDING, OR OTHER COVERING AS NECESSARY TO PREVENT EROSION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL BMP DISTURBED DURING CONSTRUCTION OPERATIONS. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OF STORM WATER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE DUMPING, CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUELS, LUBRICANT OILS, PESTICIDES, AND SOLID WASTE MATERIALS.
- EROSION CONTROL BMPs SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT, AND INITIATED AS SOON AS PRACTICABLE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMPs AS NEEDED TO PREVENT EROSION AND OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.

**SWPPP UPDATES & AMENDMENTS**

THE CONTRACTOR MUST UPDATE THE SWPPP BY NOTING ON THE SITE MAPS IN THE JOB SITE BINDER TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE FOR THE DURATION OF LAND DISTURBING ACTIVITIES. AT A MINIMUM, UPDATES SHALL BE MADE DAILY TO TRACK CONSTRUCTION PROGRESS DESCRIBED IN THE SEQUENCE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTING THE LOCATION OF THE JOB SITE TRAILER, TEMPORARY PARKING & LAYDOWN AREAS, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL & MATERIAL STORAGE, SOLID WASTE CONTAINERS, AND OTHER CONSTRUCTION RELATED FACILITIES THAT MAY IMPACT STORMWATER RUNOFF.

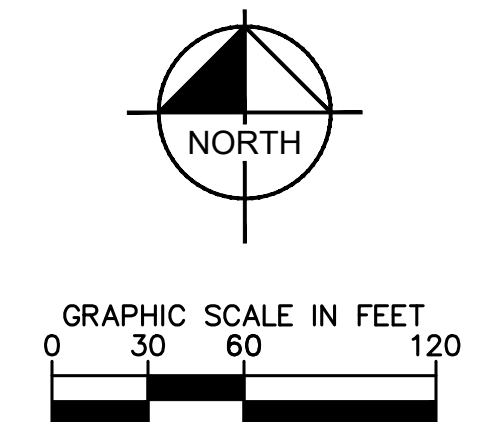
**SEQUENCE OF CONSTRUCTION:**

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:

- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUEDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
- INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, UNDERGROUND SYSTEM, CURBS AND GUTTERS.
- INSTALL APPROPRIATE INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
- PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
- PREPARE SITE FOR PAVING.
- PAVE SITE AND INSTALL STRIPING.
- INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
- COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
- OBTAIN CONCURRENCE WITH THE CIVIL ENGINEERING CONSULTANT THAT THE SITE HAS BEEN FULLY STABILIZED THEN:
  - REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES
  - STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF BMPs.

NOTE: THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

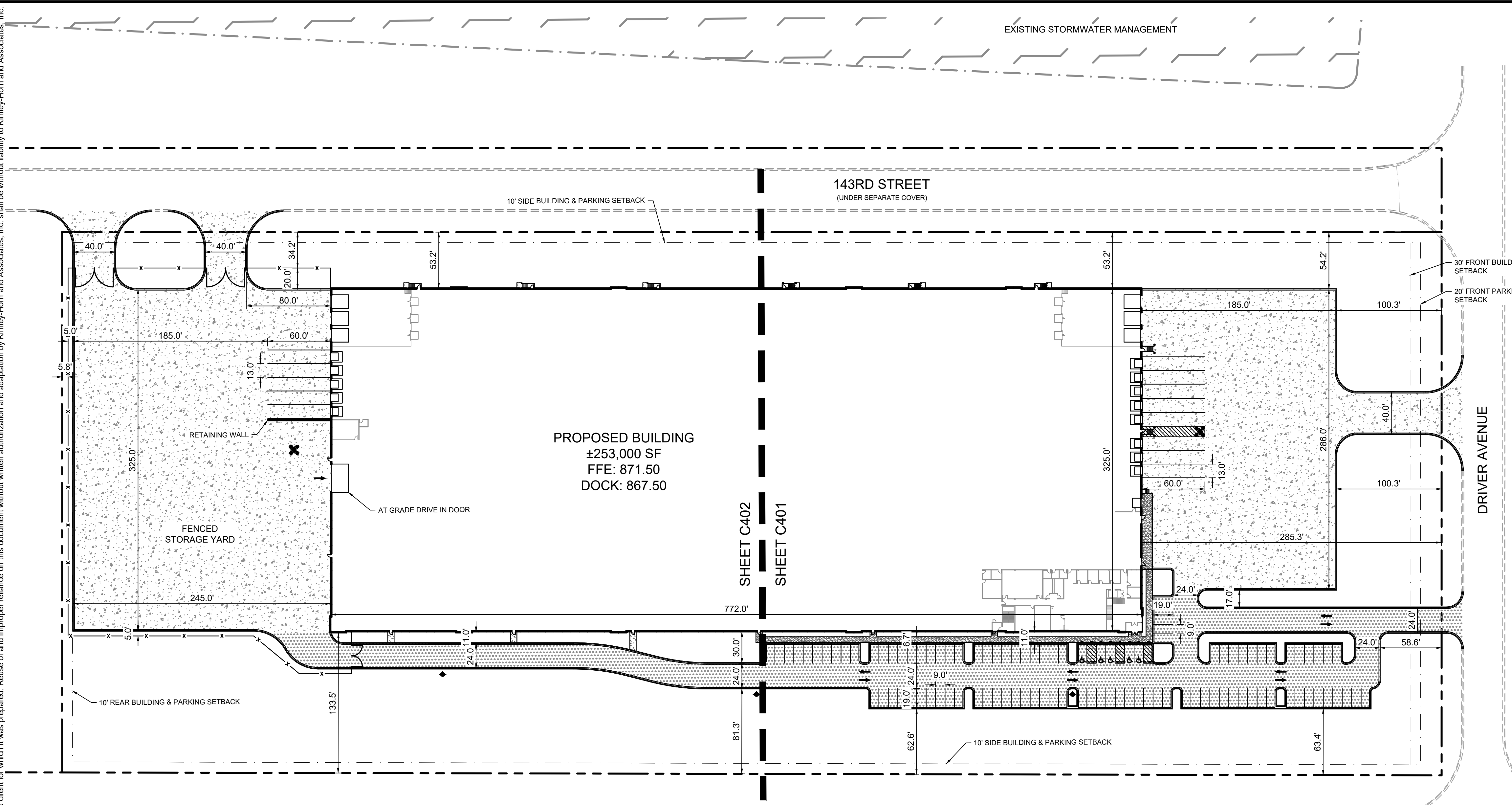


PRELIMINARY - NOT FOR CONSTRUCTION

<p><b>ROSEMOUNT GOODIN</b> PREPARED FOR <b>SCANNELL PROPERTIES</b> ROSEMOUNT MN</p>	<p><b>EROSION AND SEDIMENT CONTROL PLAN - PHASE 2</b></p>	<p>NO. _____</p>	<p>DATE _____</p>
		<p>REVISIONS</p>	<p>BY _____</p>
		<p>2026 KIMLEY-HORN AND ASSOCIATES, INC. 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-945-4197 WWW.KIMLEY-HORN.COM</p>	
<p>SHEET NUMBER <b>C300</b></p>		<p>Page 22 of 64</p>	



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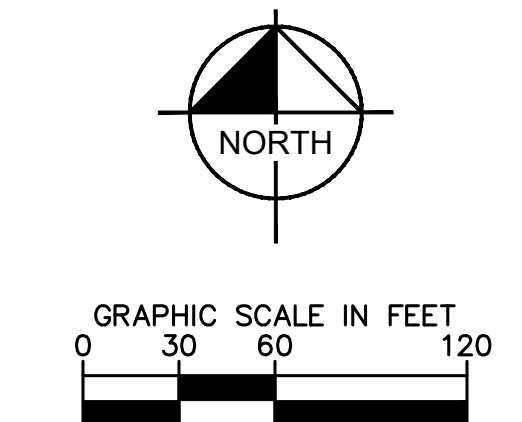
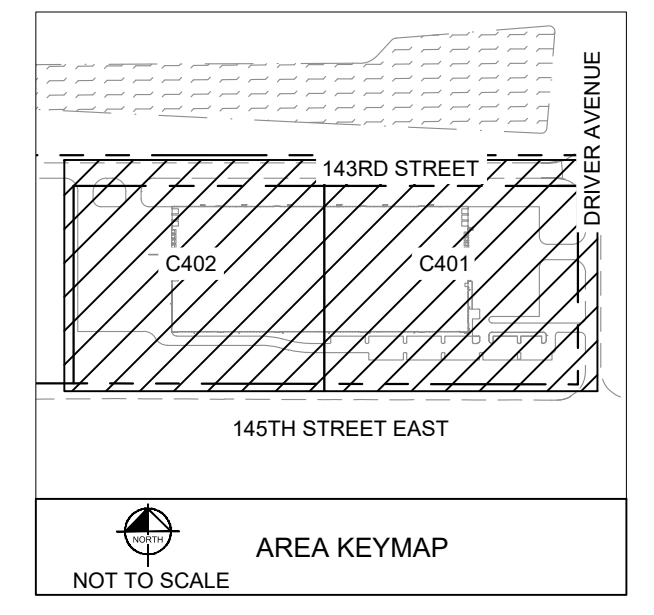
**LEGEND**

	PROPERTY LINE
	SETBACK LINE
	PROPOSED FENCE
	PROPOSED CURB AND GUTTER
	STANDARD DUTY ASPHALT PAVEMENT SEE DETAILS FOR SECTION
	STANDARD DUTY CONCRETE PAVEMENT / SIDEWALK SEE DETAILS FOR SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE DETAILS FOR SECTION

PROPERTY SUMMARY	
TOTAL PROPERTY AREA	15.54 AC / 676,900 SF
TOTAL DISTURBED AREA	13.78 AC / 598,400 SF
EXISTING IMPERVIOUS AREA	0.00 AC / 0 SF
EXISTING PERVIOUS AREA	15.54 AC / 676,900 SF
PROPOSED IMPERVIOUS AREA	10.47 AC / 456,100 SF
PROPOSED PERVIOUS AREA	5.07 AC / 220,800 SF
SITE DATA	
EXISTING ZONING	A-2 AGRICULTURAL DISTRICT
PROPOSED ZONING	B-2 EMPLOYMENT DISTRICT
PARKING SETBACKS	FRONT = 30' SIDE = 10' REAR = 10'
BUILDING SETBACKS	FRONT = 30' SIDE = 10' REAR = 10'
BUILDING DATA SUMMARY	
AREAS	
TOTAL BUILDING AREA	5.81 AC / 253,000 SF
PERCENT OF TOTAL PROPERTY AREA	37%
PARKING	
REQUIRED PARKING	1/2000 SF GFA = 123 SPACES
PROPOSED PARKING	102 SPACES
ADA STALLS REQUIRED / PROVIDED	5 STALLS / 5 STALLS

**SITE PLAN NOTES**

- REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF STOOPS, TRUCK DOCKS, TRASH ENCLOSURES & PRECISE BUILDING DIMENSIONS. REFER TO THE SITE ELECTRICAL PLAN FOR LOCATIONS OF PROPOSED LIGHT POLES, CONDUITS, AND ELECTRICAL EQUIPMENT.
- REFER TO CERTIFIED SITE SURVEY OR PLAT FOR EXACT LOCATION OF EXISTING EASEMENTS, PROPERTY BOUNDARY DIMENSIONS, AND ADJACENT RIGHT-OF-WAY & PARCEL INFORMATION.
- DIMENSIONS AND RADII ARE DRAWN TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT, AND AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING EXISTING SITE IMPROVEMENTS THAT CONFLICT WITH THE PROPOSED WORK, INCLUDING BUT NOT LIMITED TO TRAFFIC SIGNS, LIGHT POLES, ABOVEGROUND UTILITIES, ETC. PERFORM WORK IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS. COST SHALL BE INCLUDED IN BASE BID.
- TYPICAL PARKING STALL DIMENSIONS SHALL BE 9.0-FEET IN WIDTH AND 19-FEET IN LENGTH UNLESS OTHERWISE INDICATED.
- MONUMENT SIGN(S) ARE DETAILED ON THE ARCHITECTURAL PLANS AND ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIGN DIMENSIONS, LOCATION AND REQUIRED PERMITS WITH THE OWNER.
- REFER TO 143RD STREET PLANS UNDER SEPARATE COVER TITLED "CITY OF ROSEMOUNT RICH VALLEY GOLF COURSE REDEVELOPMENT 143RD STREET"



**PRELIMINARY - NOT FOR CONSTRUCTION**

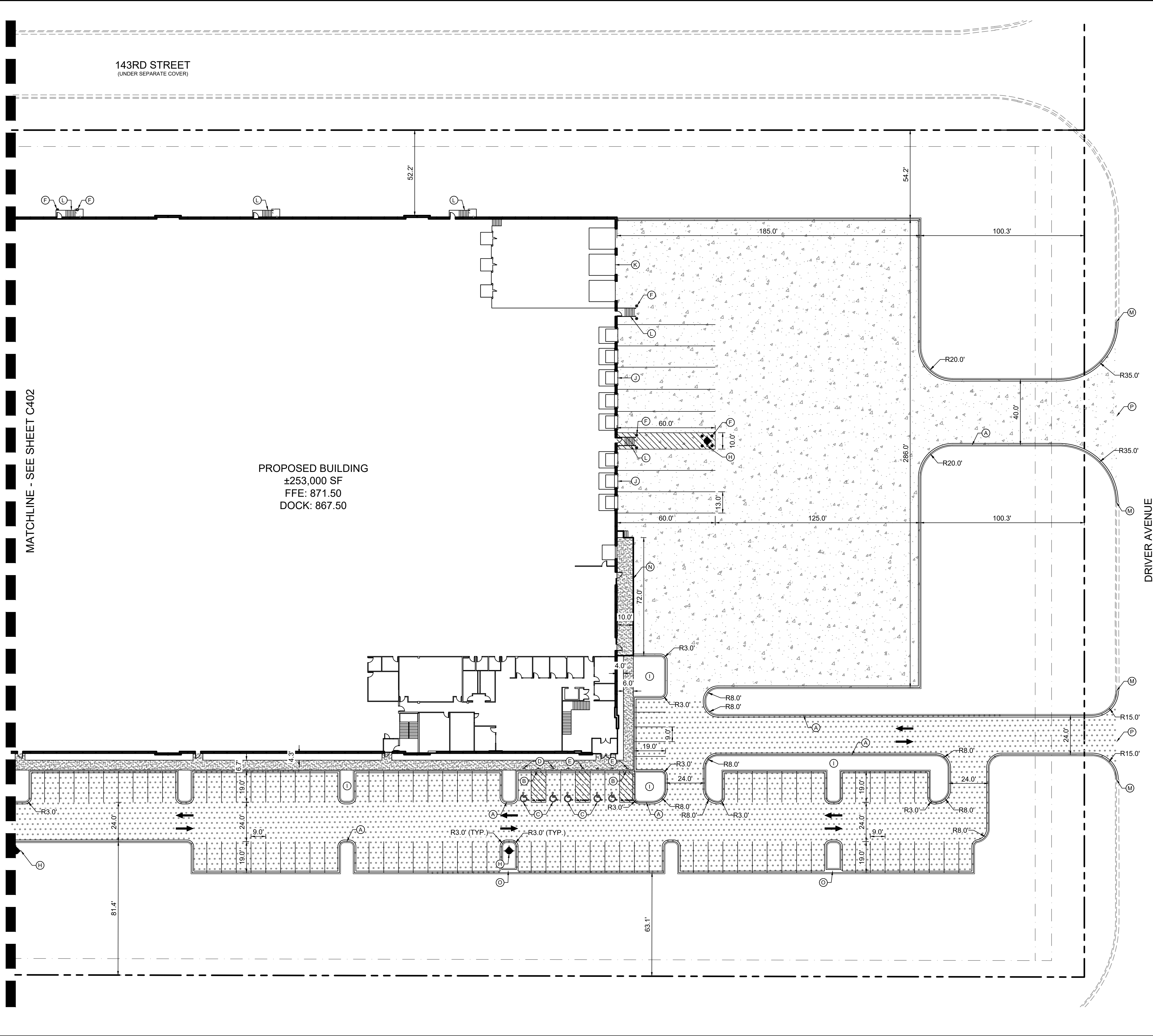
**ROSEMOUNT GOODIN**  
PREPARED FOR  
**SCANNELL PROPERTIES**  
ROSEMOUNT MN

**Kimley»Horn**  
2026 KIMLEY-HORN AND ASSOCIATES, INC.  
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-452-4197  
WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY

**OVERALL SITE PLAN**

SHEET NUMBER  
**C400**

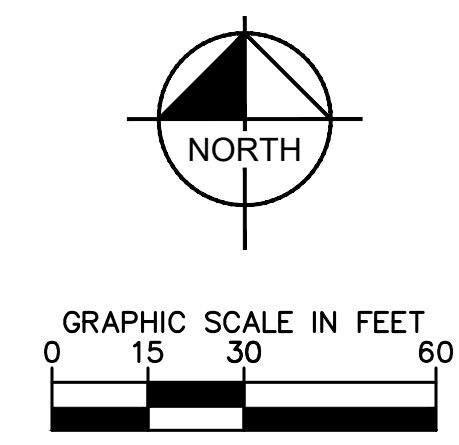
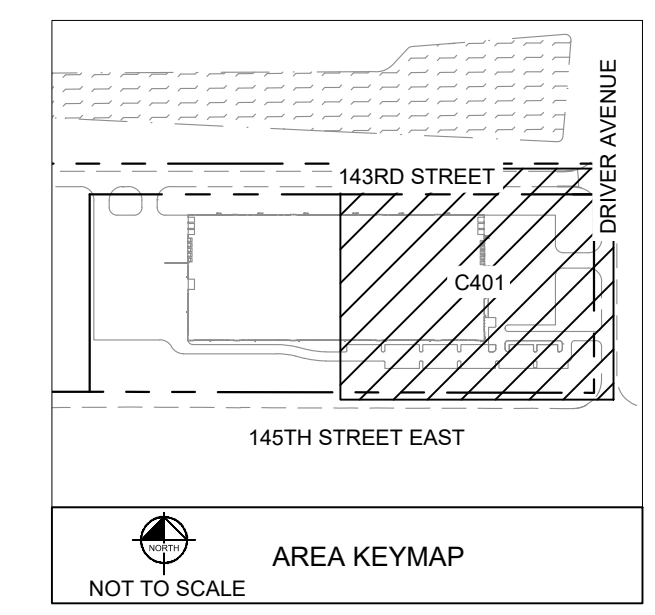


**LEGEND**

	PROPERTY LINE
	SETBACK LINE
	PROPOSED FENCE
	PROPOSED CURB AND GUTTER
	STANDARD DUTY ASPHALT PAVMENT SEE DETAILS FOR SECTION
	STANDARD DUTY CONCRETE SIDEWALK SEE DETAILS FOR SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE DETAILS FOR SECTION

**KEYNOTE LEGEND**

(A)	6" CONCRETE CURB & GUTTER (B612) - SEE DETAIL ST-1 ON SHEET C404
(B)	FLUSH CURB
(C)	ACCESSIBLE PARKING
(D)	ACCESSIBLE PARKING SIGN ON BOLLARD - SEE DETAIL ON SHEET C403
(E)	ACCESS AISLE - NO PARKING BOLLARD AND SIGN
(F)	BOLLARD - SEE DETAIL ON SHEET C403
(G)	8' CHAIN LINK FENCE
(H)	HYDRANT - SEE UTILITY PLAN SHEET C600
(I)	LANDSCAPE AREA - SEE LANDSCAPE PLANS
(J)	DOCK DOOR - SEE ARCHITECTURAL PLANS
(K)	DRIVE-IN DOOR - SEE ARCHITECTURAL PLANS
(L)	METAL STAIRS - SEE ARCHITECTURAL PLANS
(M)	MATCH TO EXISTING
(N)	2' RAISED PLATFORM LOADING DOCK - SEE ARCHITECTURAL PLANS
(O)	VALLEY GUTTER - SEE DETAIL ST-7 ON SHEET C404
(P)	COMMERCIAL DRIVEWAY WITH CURB - SEE DETAIL ST-6 ON SHEET C404



PRELIMINARY - NOT FOR CONSTRUCTION

<p><b>ROSEMOUNT GOODIN</b> PREPARED FOR <b>SCANNELL PROPERTIES</b> ROSEMOUNT MN</p>	<p><b>SITE PLAN</b></p>	<p>KHA PROJECT 160946047</p>	<p>DATE 03/18/2026</p>	<p>SCALE AS SHOWN</p>	<p>DESIGNED BY RAY</p>	<p>DRAWN BY WLE</p>	<p>CHECKED BY RAY</p>
		<p>NO. _____</p>	<p>REVISIONS _____</p>	<p>DATE _____</p>	<p>BY _____</p>		

NO.	REVISIONS	DATE	BY

**Kimley»Horn**

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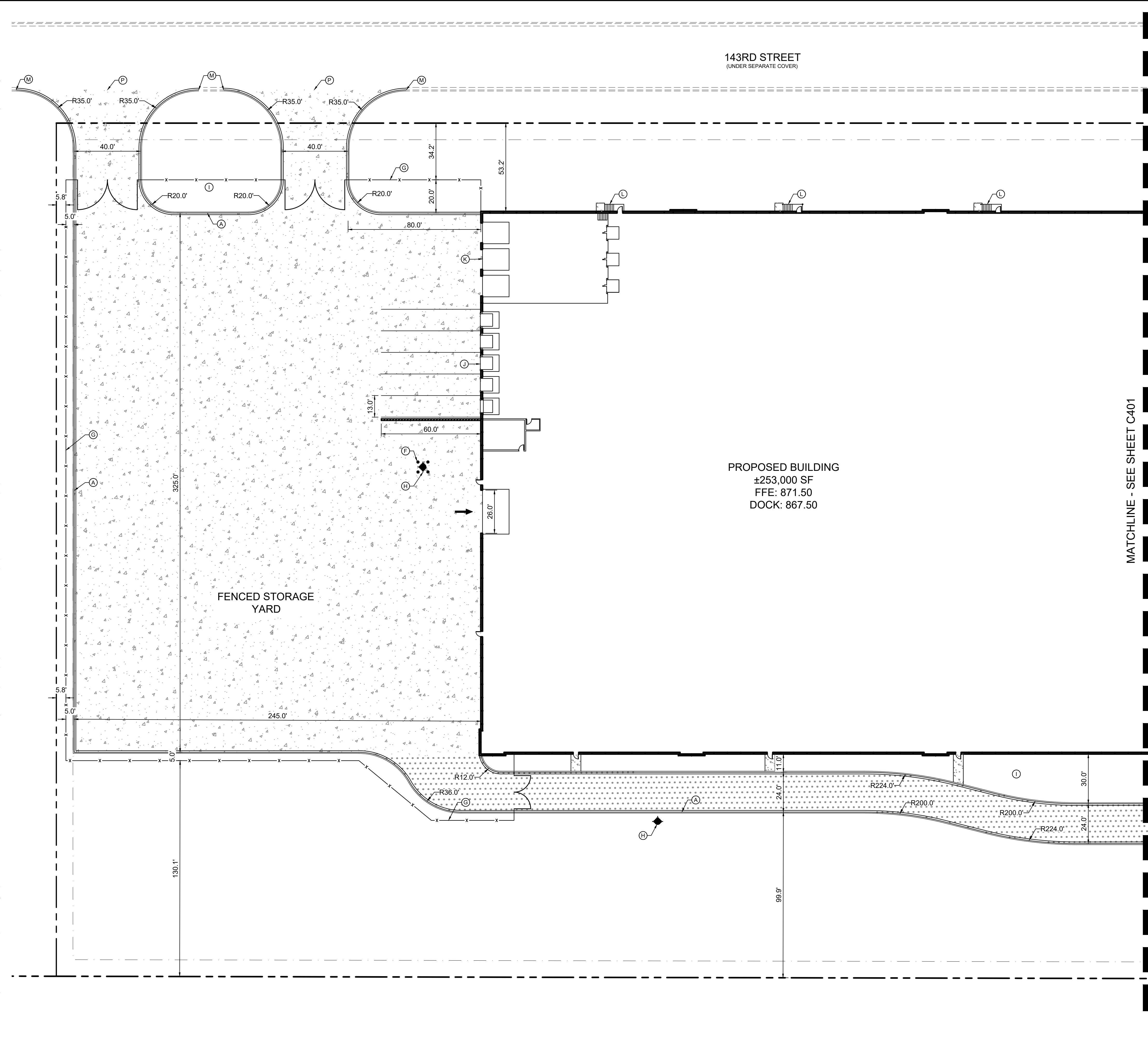
<p>PROJECT 160946047</p>	<p>DATE 03/18/2026</p>	<p>SCALE AS SHOWN</p>	<p>DESIGNED BY RAY</p>	<p>DRAWN BY WLE</p>	<p>CHECKED BY RAY</p>
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**ROSEMOUNT GOODIN**  
PREPARED FOR  
**SCANNELL PROPERTIES**  
ROSEMOUNT MN

**SITE PLAN**

PRELIMINARY - NOT FOR CONSTRUCTION

SHEET NUMBER  
**C401**



143RD STREET  
(UNDER SEPARATE COVER)

PROPOSED BUILDING  
±253,000 SF  
FFE: 871.50  
DOCK: 867.50

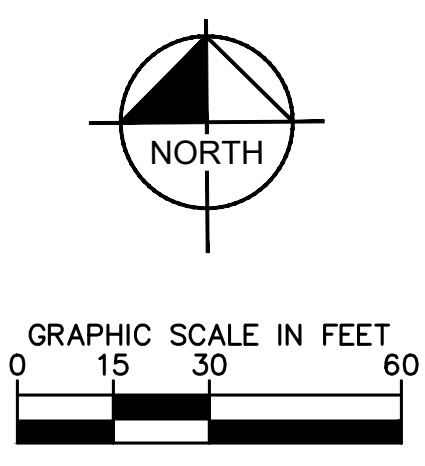
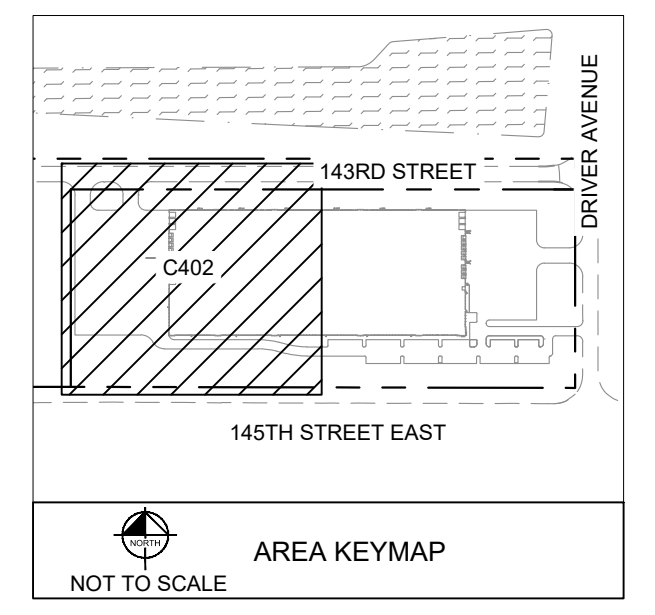
MATCHLINE - SEE SHEET C401

**LEGEND**

	PROPERTY LINE
	SETBACK LINE
	PROPOSED FENCE
	PROPOSED CURB AND GUTTER
	STANDARD DUTY ASPHALT PAVEMENT SEE DETAILS FOR SECTION
	STANDARD DUTY CONCRETE SIDEWALK SEE DETAILS FOR SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE DETAILS FOR SECTION

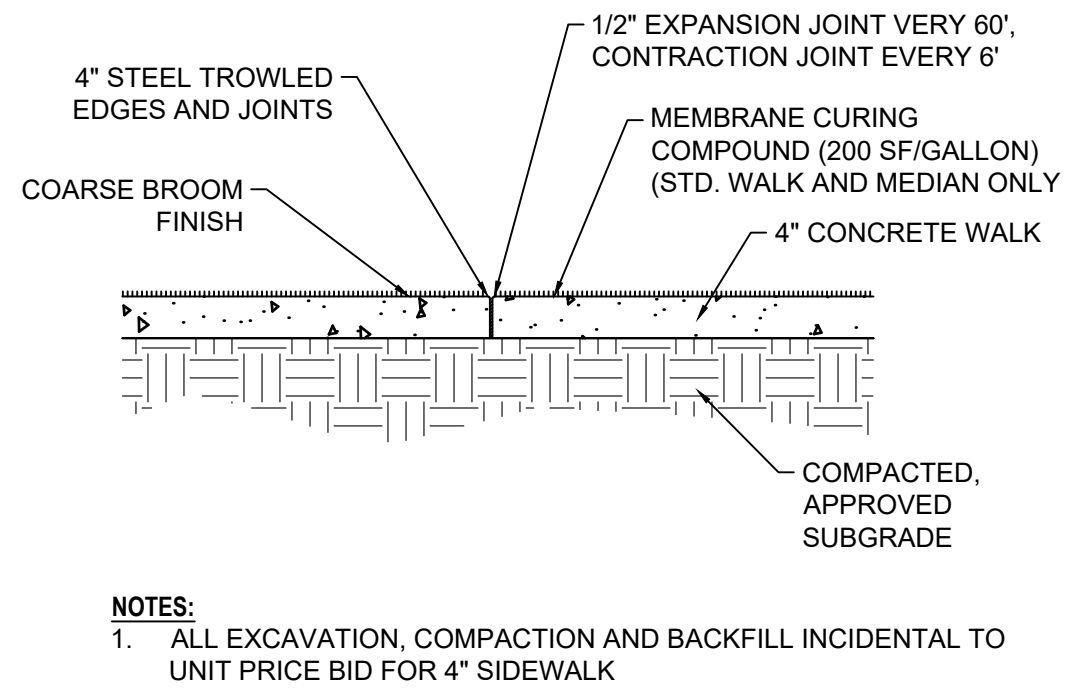
**KEYNOTE LEGEND**

(A)	6" CONCRETE CURB & GUTTER (B612) - SEE DETAIL ST-1 ON SHEET C404
(B)	FLUSH CURB
(C)	ACCESSIBLE PARKING
(D)	ACCESSIBLE PARKING SIGN ON BOLLARD - SEE DETAIL ON SHEET C403
(E)	ACCESS AISLE - NO PARKING BOLLARD AND SIGN
(F)	BOLLARD - SEE DETAIL ON SHEET C403
(G)	8' CHAIN LINK FENCE
(H)	HYDRANT - SEE UTILITY PLAN SHEET C600
(I)	LANDSCAPE AREA - SEE LANDSCAPE PLANS
(J)	DOCK DOOR - SEE ARCHITECTURAL PLANS
(K)	DRIVE-IN DOOR - SEE ARCHITECTURAL PLANS
(L)	METAL STAIRS - SEE ARCHITECTURAL PLANS
(M)	MATCH TO EXISTING
(N)	2' RAISED PLATFORM LOADING DOCK - SEE ARCHITECTURAL PLANS
(O)	VALLEY GUTTER - SEE DETAIL ST-7 ON SHEET C404
(P)	COMMERCIAL DRIVEWAY WITH CURB - SEE DETAIL ST-6 ON SHEET C404

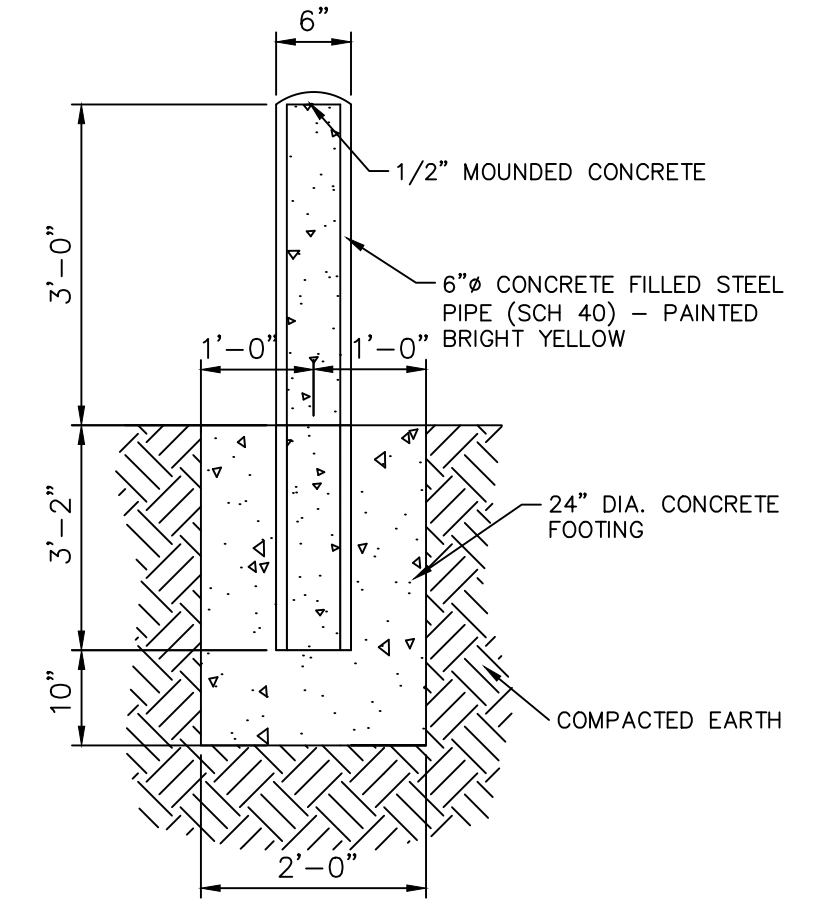


PRELIMINARY - NOT FOR CONSTRUCTION

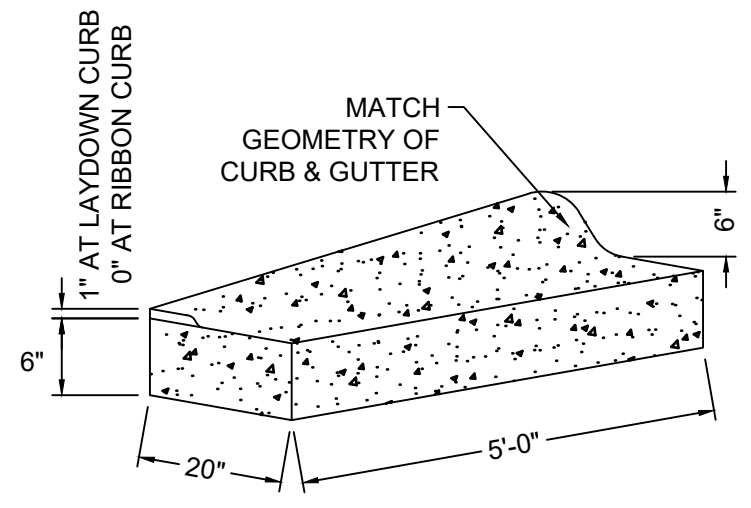
<p><b>ROSEMOUNT GOODIN</b> PREPARED FOR <b>SCANNELL PROPERTIES</b> ROSEMOUNT MN</p>	<p><b>SITE PLAN</b></p>	<p>KHA PROJECT 160946047</p> <p>DATE 03/18/2026</p> <p>SCALE AS SHOWN</p> <p>DESIGNED BY RAV</p> <p>DRAWN BY WLE</p> <p>CHECKED BY RAV</p>	<p><b>Kimley»Horn</b> 2026 KIMLEY-HORN AND ASSOCIATES, INC. 787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-452-4197 WWW.KIMLEY-HORN.COM</p>	REVISIONS	DATE	BY



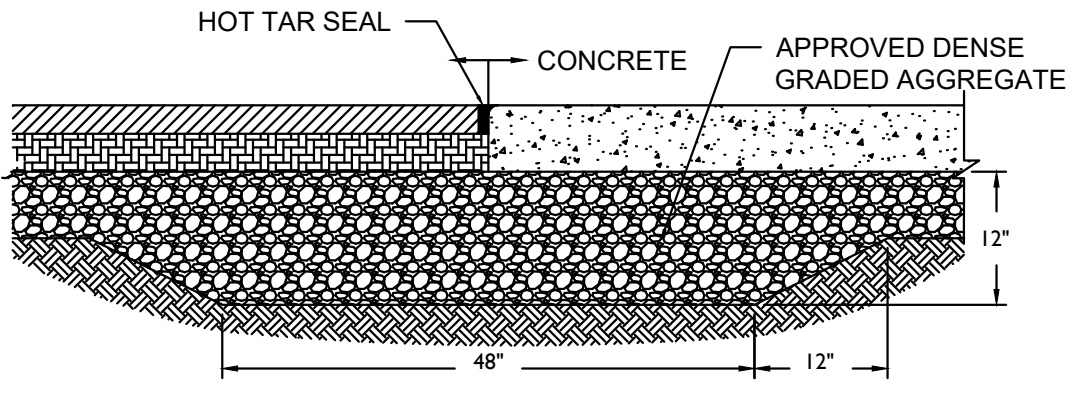
**1 CONCRETE SIDEWALK** NO SCALE



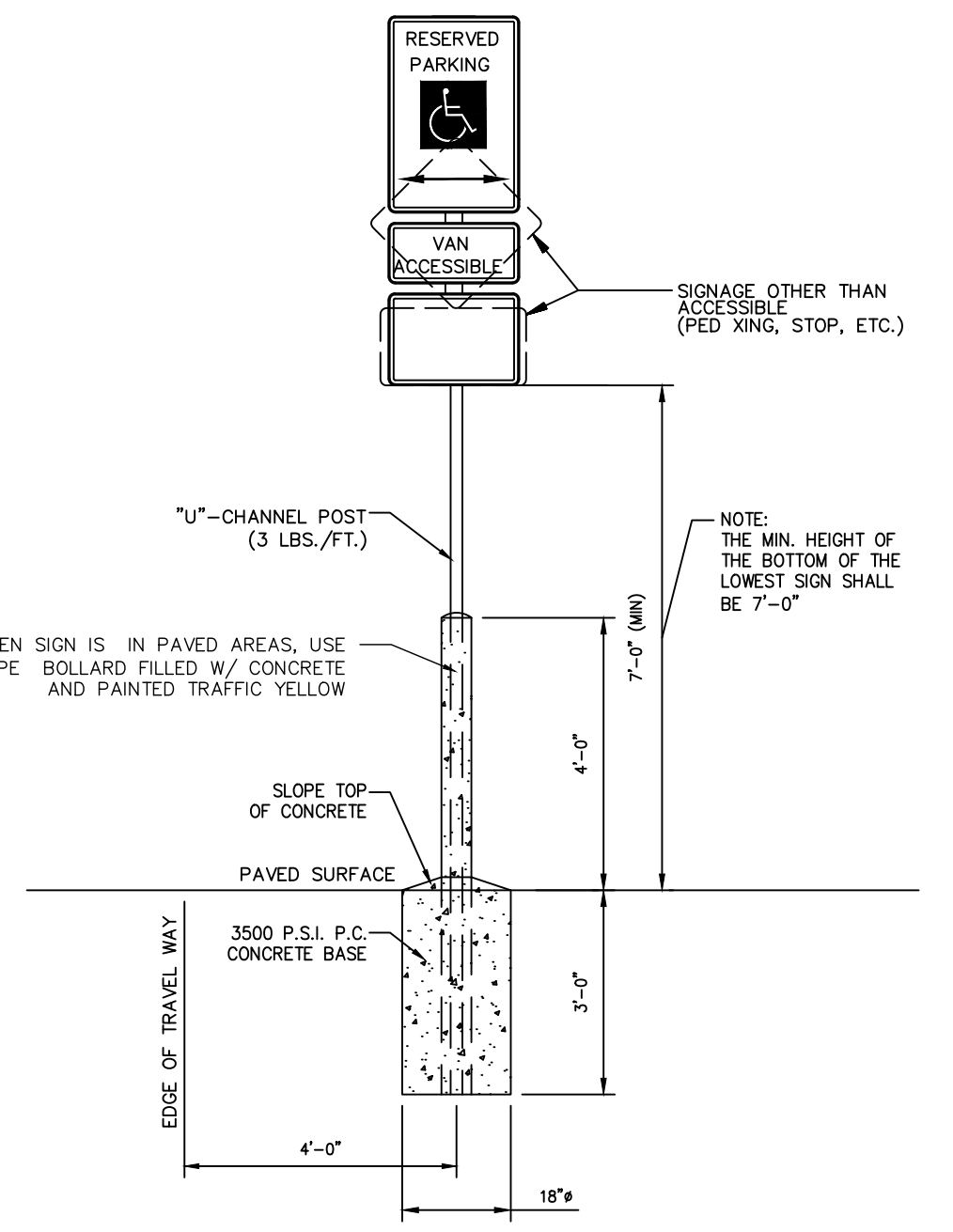
**2 STEEL PIPE BOLLARD** SCALE: NTS



**3 CONCRETE CURB TAPER** NO SCALE

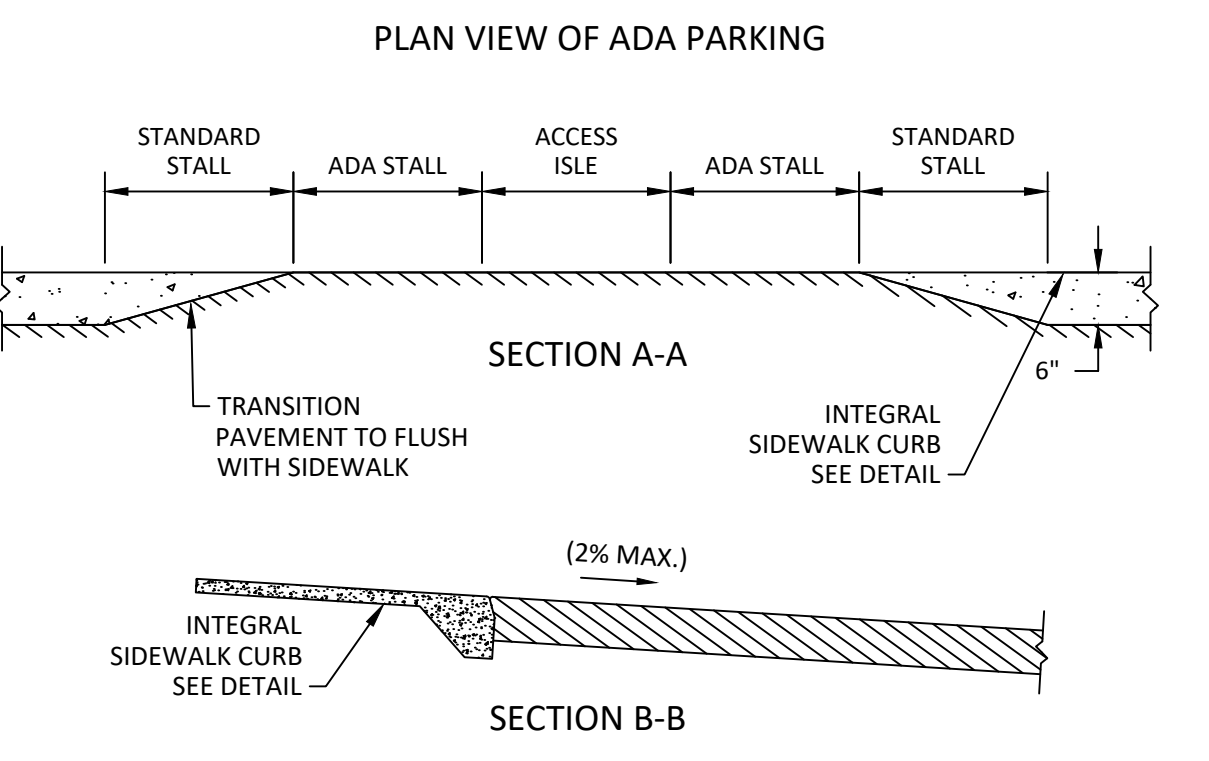
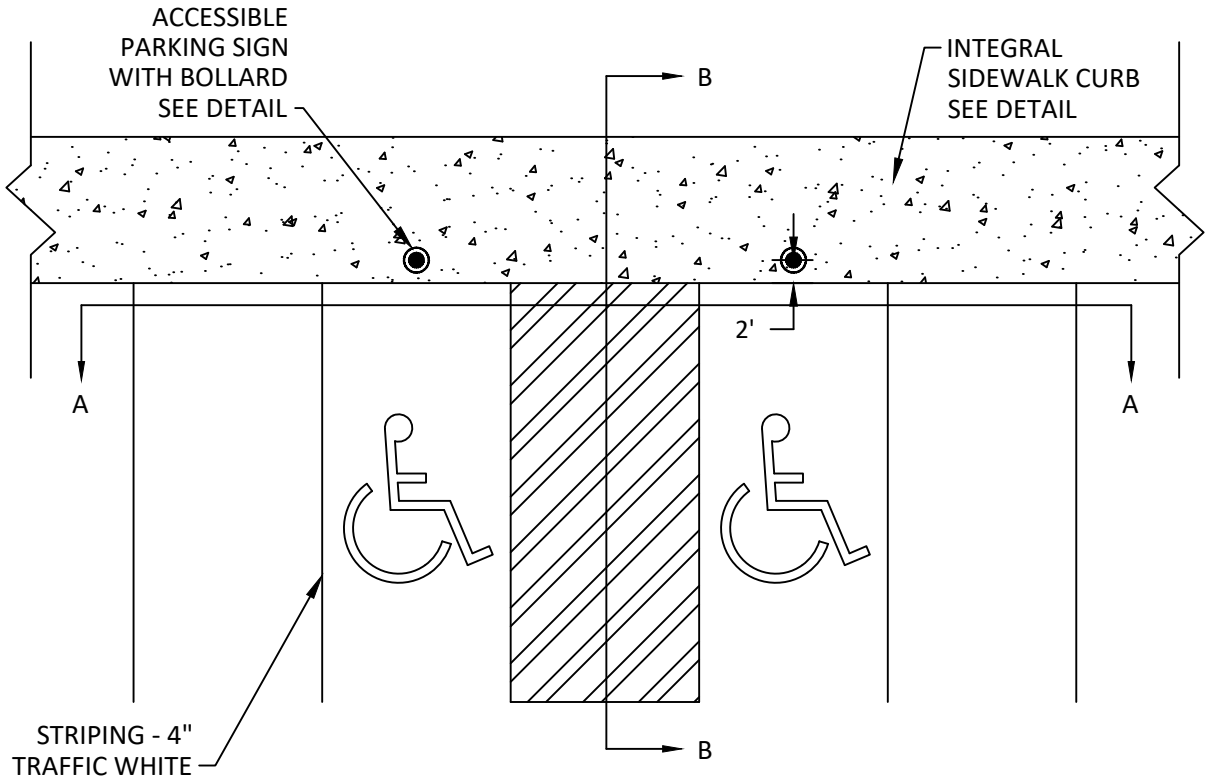


**4 CONCRETE TO ASPHALT TRANSITION DETAIL** SCALE: NTS

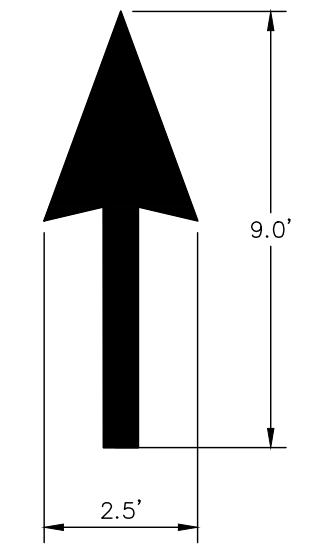


**5 ACCESSIBLE PARKING BOLLARD SIGN MOUNTING** NO SCALE

NOTES:  
 1. ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.  
 2. GALVANIZED SQUARE TUBE  
 POST TUBES - 2"x2"x3/16" 12ga  
 POST TUBE SHALL MEET ASTM A1011 GRADE 50.  
 POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.



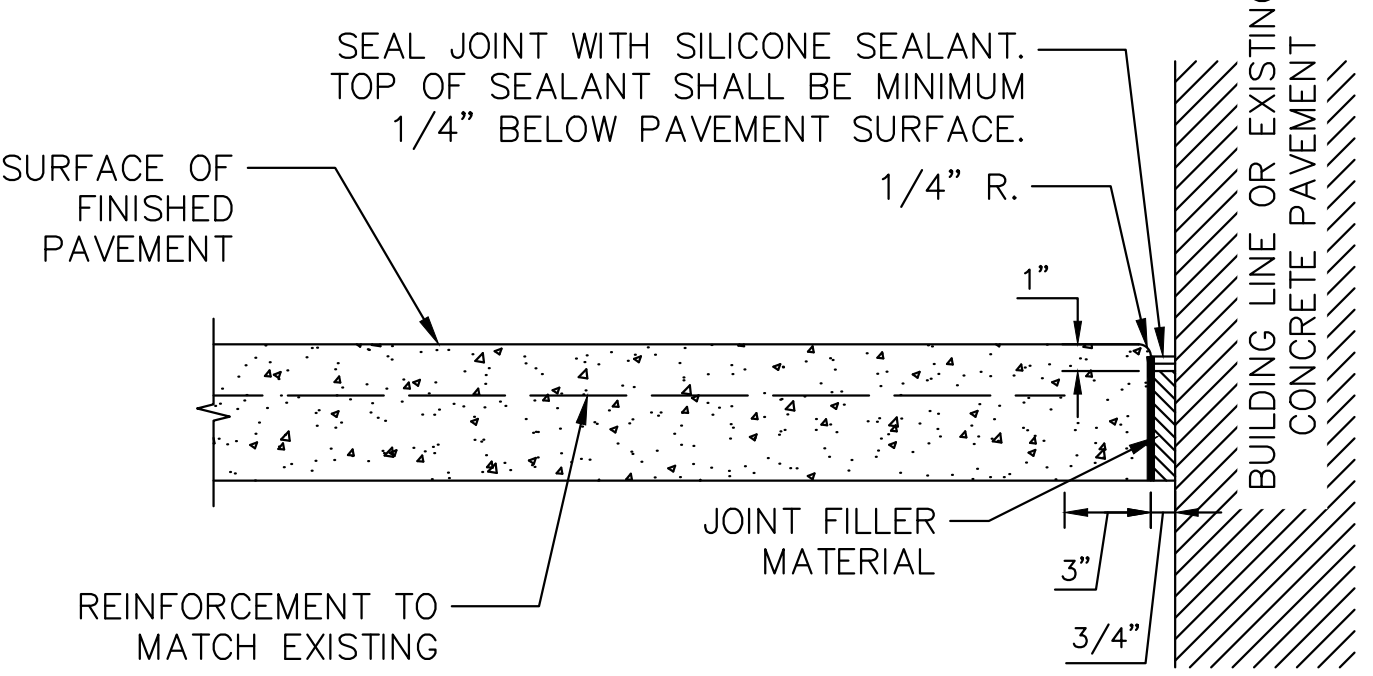
**6 ADA PARKING LAYOUT WITH INTEGRAL CURB** NO SCALE



**7 DIRECTIONAL PAVEMENT MARKING** NO SCALE

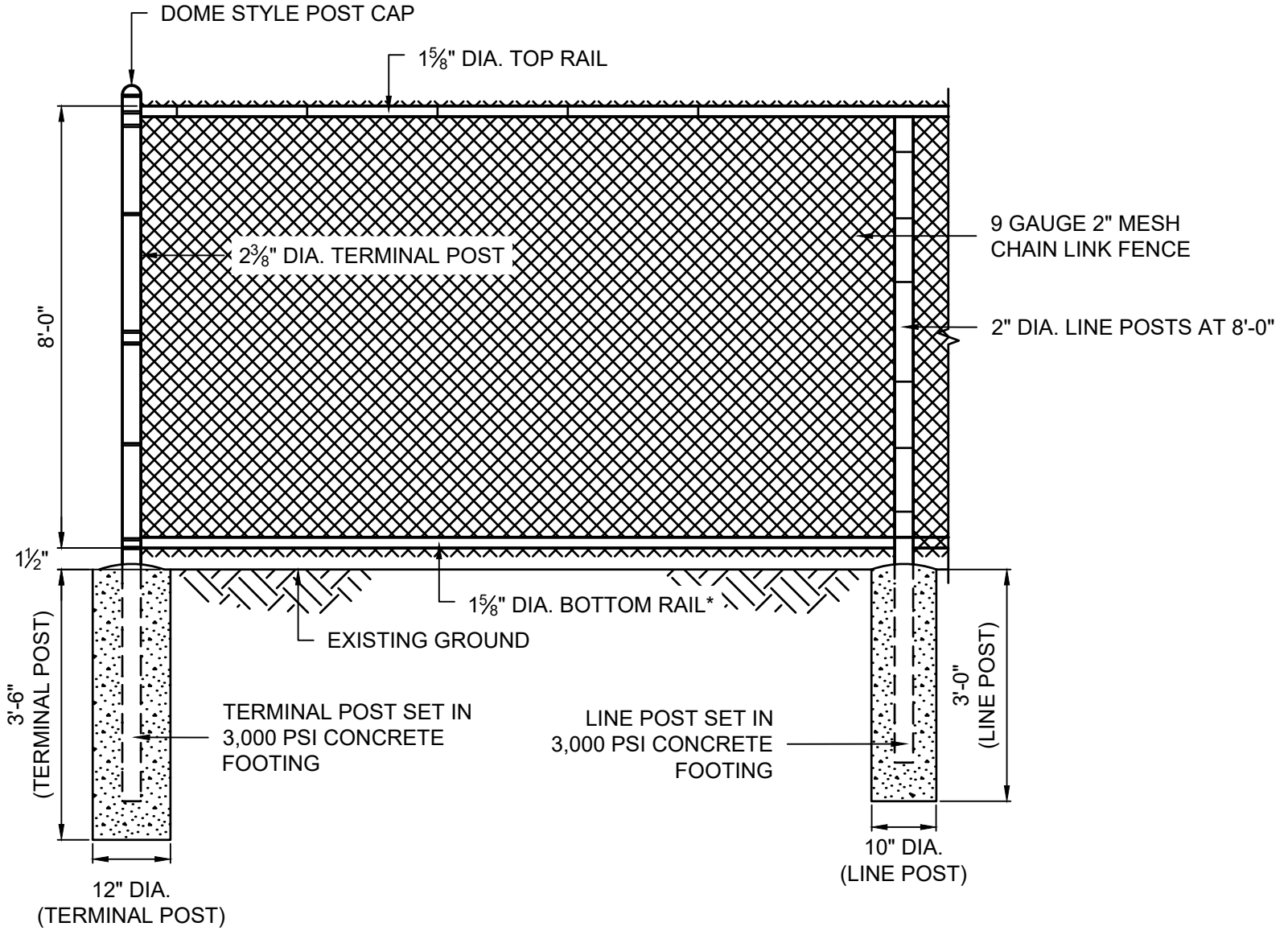
NOTE: ALL TRAFFIC FLOW ARROWS TO BE PAINTED PER STATE DOT STANDARDS PER DIMENSIONS ABOVE.

THIS JOINT TO BE USED AT BUILDINGS, EXISTING CONCRETE PAVEMENT, UTILITY STRUCTURES, BOLLARD FOUNDATIONS, PLANTERS, AND RETAINING WALLS.



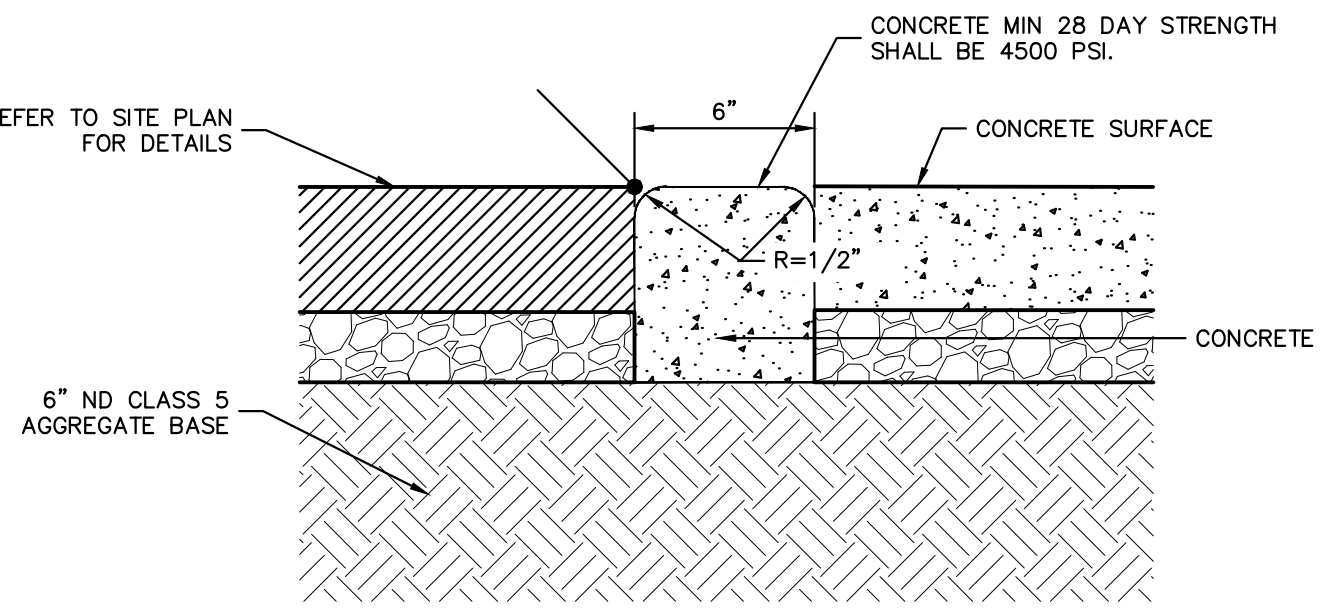
**8 TYPICAL ISOLATION JOINT** NO SCALE

NOTE:  
 1. INSTALL SEALANT FLUSH WITH PAVEMENT OR CONCAVE BELOW SURFACE PER SPECIFICATIONS.



**10 CHAIN LINK FENCE** SCALE: NTS

NOTES:  
 1. POST CAPS SHALL BE DOME STYLE  
 2. FENCE TIES SHALL BE 9 GAUGE  
 3. FENCE DEPTHS MAY VARY PER LOCAL CODES  
 4. FENCE HEIGHT MAY REQUIRE PERMITTING BY LOCAL AUTHORITY HAVING JURISDICTION  
 5. TO BE INSTALLED TO SAFELY ROUTE PEDESTRIANS TO DESIGNATED CROSSWALKS AND TO PREVENT UNSAFE CROSSING OUTSIDE DESIGNATED AREAS  
 6. FENCE SETBACK FROM CURBING VARIES PER LOCAL REGULATORY REQUIREMENTS, SNOW CONDITIONS AND SIGHTLINES



**9 FLUSH CURB** SCALE: NTS

No.	REVISIONS	DATE	BY

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 PHONE: 651-452-4187  
 WWW.KIMLEY-HORN.COM

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
160946047	03/18/2026	AS SHOWN	RAV	WLE	RAV

**SITE DETAILS**

PRELIMINARY - NOT FOR CONSTRUCTION

ROSEMOUNT GOODIN  
 PREPARED FOR  
 SCANNELL PROPERTIES  
 ROSEMOUNT MN

SHEET NUMBER  
**C403**

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FOR REFERENCE ONLY

**Mn/DOT B 612**

**Mn/DOT B 618**

**Mn/DOT B 624**

**MODIFIED 'S' DESIGN**

NOTES:  
 1. MINIMUM OF 3" CLASS 5 AGGREGATE BASE UNDER ALL CURB AND GUTTER.  
 2. STAMP "W" AT CURB STOP AND VALVE BOX LOCATIONS.

ROSEMOUNT SPIRIT OF PRIDE AND PROGRESS Standard Plate Library for the City of Rosemount	CONCRETE CURB AND GUTTER	Special Details	
		Date: 01-06-05 Revised: 02-01-23	ST-1

FOR REFERENCE ONLY

**PLAN**

**SECTION B-B**

**SECTION A-A**

NOTES:  
 1. STEEL TO BE USED WHEN DRIVEWAY SLAB IS NOT POURED INTEGRAL WITH GUTTER (SEE ABOVE).  
 2. WHERE SIDEWALKS EXIST OR ARE PROPOSED, THE CURB AT THE SIDEWALK SHALL BE DROPPED AND A PEDESTRIAN RAMP INSTALLED.  
 3. 2% MAXIMUM CROSS-SLOPE ON SIDEWALKS.  
 4. JOINT WIDTH SHALL BE AS SPECIFIED IN Mn/DOT 2521. APPROVAL OF LARGER JOINT WIDTHS SHALL BE AS SPECIFIED IN SP-18.3 OF DIVISION 2 IN THE CITY OF ROSEMOUNT GENERAL SPECIFICATIONS.

ROSEMOUNT SPIRIT OF PRIDE AND PROGRESS Standard Plate Library for the City of Rosemount	COMMERCIAL AND MULTI-FAMILY DRIVEWAY WITH CURB	Special Details	
		Date: 01-11-06 Revised: 02-08-23	ST-6

FOR REFERENCE ONLY

**TRAFFIC SIGN SPECIFICATIONS**

STOP SIGN SHALL BE R1-1, 30" X 30" OR AS DIRECTED BY CITY ENGINEER. STOP SIGN AND STREET SIGNS SHALL NOT BE INSTALLED ON THE SAME POST.

ALUMINUM SHALL BE 5052-H38 OR 6061-T6 ALLOY. GAUGE SHALL BE: .080 ON THE LONGEST SIDE UP TO 30" .100 ON THE LONGEST SIDE OVER 30"

REFLECTING SHEETING SHALL BE DIAMOND GRADE 3 (DG3). ALL SIGNS CONFORM TO SECTION 3352, SIGNS AND MARKERS STANDARD SPECIFICATIONS FOR HIGHWAY

**CHANNEL POST SPECIFICATIONS**

GALVANIZED STEEL CHANNEL POSTS SHALL WEIGH 2LB/FT. OR 3LB/FT. AS REQUIRED. POSTS SHALL BE PUNCHED ON 1" CC. POSTS SHALL BE OF THE 4-RIB DESIGN.

ROSEMOUNT SPIRIT OF PRIDE AND PROGRESS Standard Plate Library for the City of Rosemount	TRAFFIC SIGN	Special Details	
		Date: 01-06-05 Revised: 02-01-23	SI-1

FOR REFERENCE ONLY

**TYPICAL CONCRETE VALLEY GUTTER**

NOTES:  
 1. SEE PLATE NO. ST-2 FOR CONCRETE CURB AND GUTTER DETAILS  
 2. #4 ROD TO BE USED IN VALLEY GUTTER FROM EXPANSION JOINT TO EXPANSION JOINT  
 3. PAID AS 7" CONCRETE VALLEY GUTTER

ROSEMOUNT SPIRIT OF PRIDE AND PROGRESS Standard Plate Library for the City of Rosemount	TYPICAL CONCRETE VALLEY GUTTER	Special Details	
		Date: 02-04-02 Revised: 02-08-23	ST-7

**1 STANDARD DUTY ASPHALT PAVMENT SECTION**  
NO SCALE

- 2" WEAR COURSE ASPHALT CONCRETE
- TACK COAT
- 2" NON WEAR COURSE ASPHALT CONCRETE
- 6" AGGREGATE BASE
- PROPERLY PREPARED FILLS, NATURAL SUB-GRADE SOILS, AND/OR STRUCTURAL SITE GRADING FILL

**2 HEAVY DUTY CONCRETE PAVMENT SECTION**  
NO SCALE

- 8" PORTLAND CEMENT CONCRETE (NON REINFORCED)
- 12" AGGREGATE BASE
- PROPERLY PREPARED FILLS, NATURAL SUB-GRADE SOILS, AND/OR STRUCTURAL SITE GRADING FILL

**3 STANDARD DUTY CONCRETE SIDEWALK**  
NO SCALE

- 4" PORTLAND CEMENT CONCRETE (NON REINFORCED)
- 6" AGGREGATE BASE
- PROPERLY PREPARED FILLS, NATURAL SUB-GRADE SOILS, AND/OR STRUCTURAL SITE GRADING FILL

PRELIMINARY PAVEMENT SECTIONS SHOWN ARE PROVIDED AS A REFERENCE ONLY. REFER TO GEOTECHNICAL REPORT FOR ALL PAVEMENT, SUBGRADE PREPARATION AND COMPACTION REQUIREMENTS.

PRELIMINARY - NOT FOR CONSTRUCTION

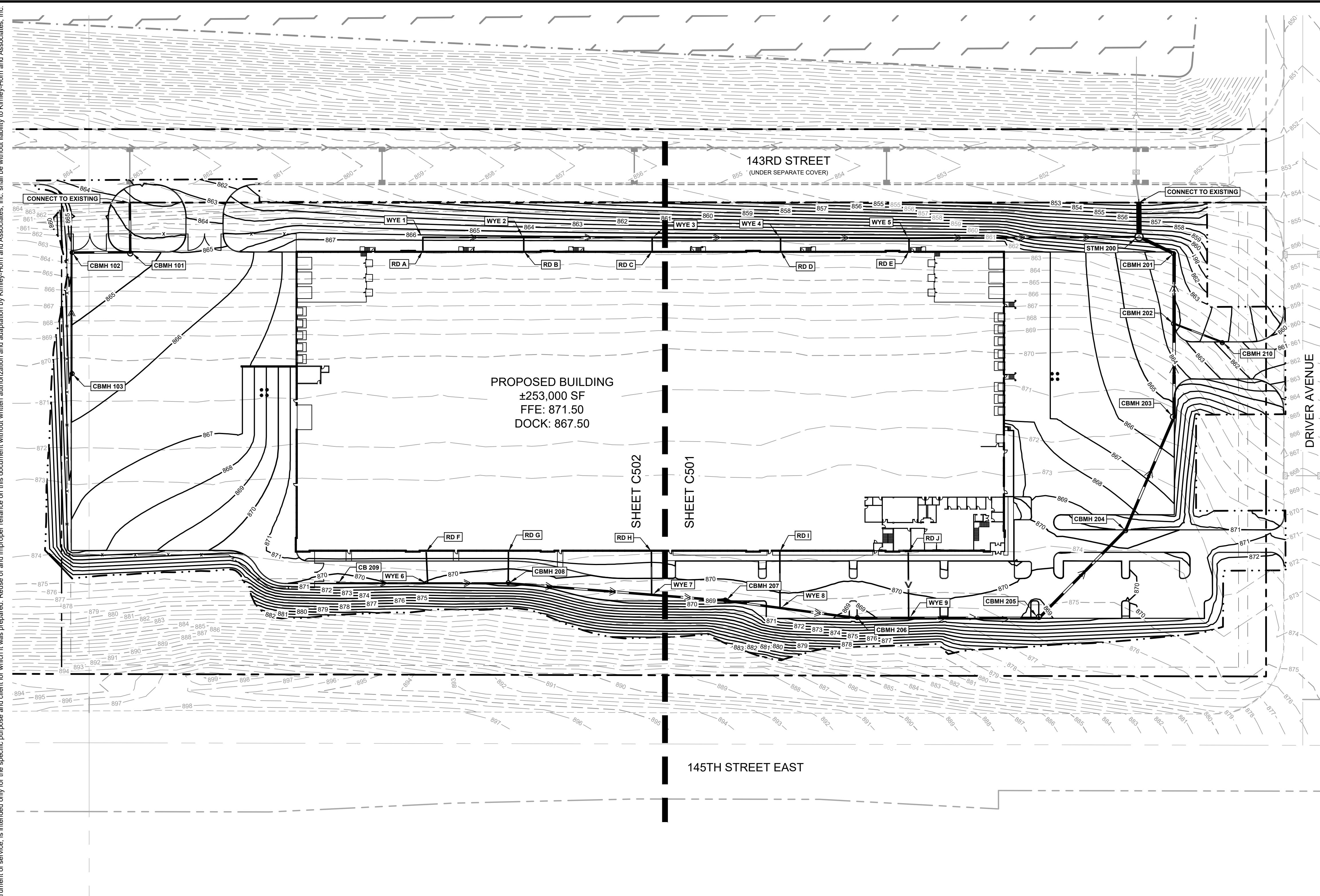
ROSEMOUNT GOODIN  
 PREPARED FOR  
 SCANNELL PROPERTIES  
 ROSEMOUNT MN

SITE DETAILS

KHA PROJECT: 160946047  
 DATE: 03/18/2026  
 SCALE: AS SHOWN  
 DESIGNED BY: RAV  
 DRAWN BY: WLE  
 CHECKED BY: RAV

**Kimley»Horn**  
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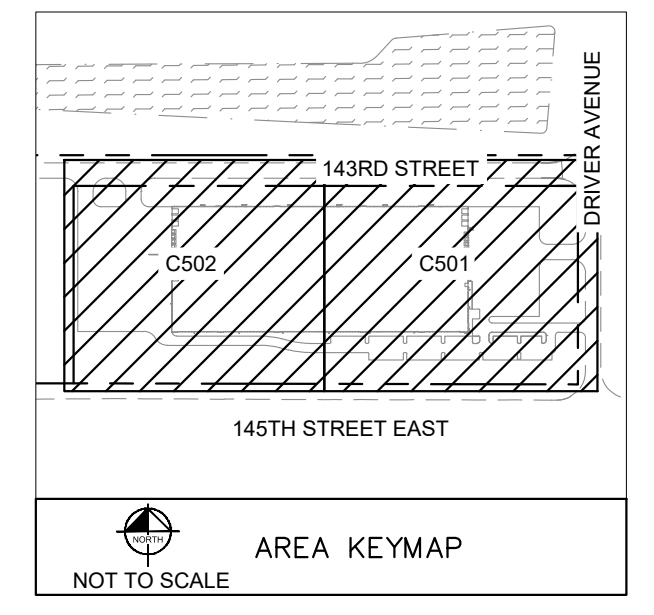
No.	REVISIONS	DATE	BY



LEGEND	
	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED RIDGE LINE
	PROPOSED SWALE
	LIMITS OF DISTURBANCE
	PROPOSED STORM MANHOLE (SOLID CASTING)
	PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
	PROPOSED STORM SEWER CLENOUT
	PROPOSED FLARED END SECTION
	PROPOSED RIPRAP
	PROPOSED STORM SEWER
	PROPOSED SPOT ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED LOW POINT ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED FLUSH PAVEMENT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED EMERGENCY OVERFLOW ELEVATION
	PROPOSED GRADE AT TOP/BOTTOM OF WALL
	PROPOSED DRAINAGE DIRECTION
	PROPOSED GRADE BETWEEN POINTS

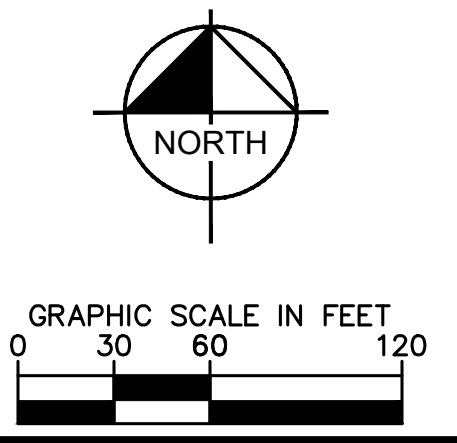
PROPOSED BUILDING  
±253,000 SF  
FFE: 871.50  
DOCK: 867.50

SHEET C502  
SHEET C501



**GRADING PLAN NOTES**

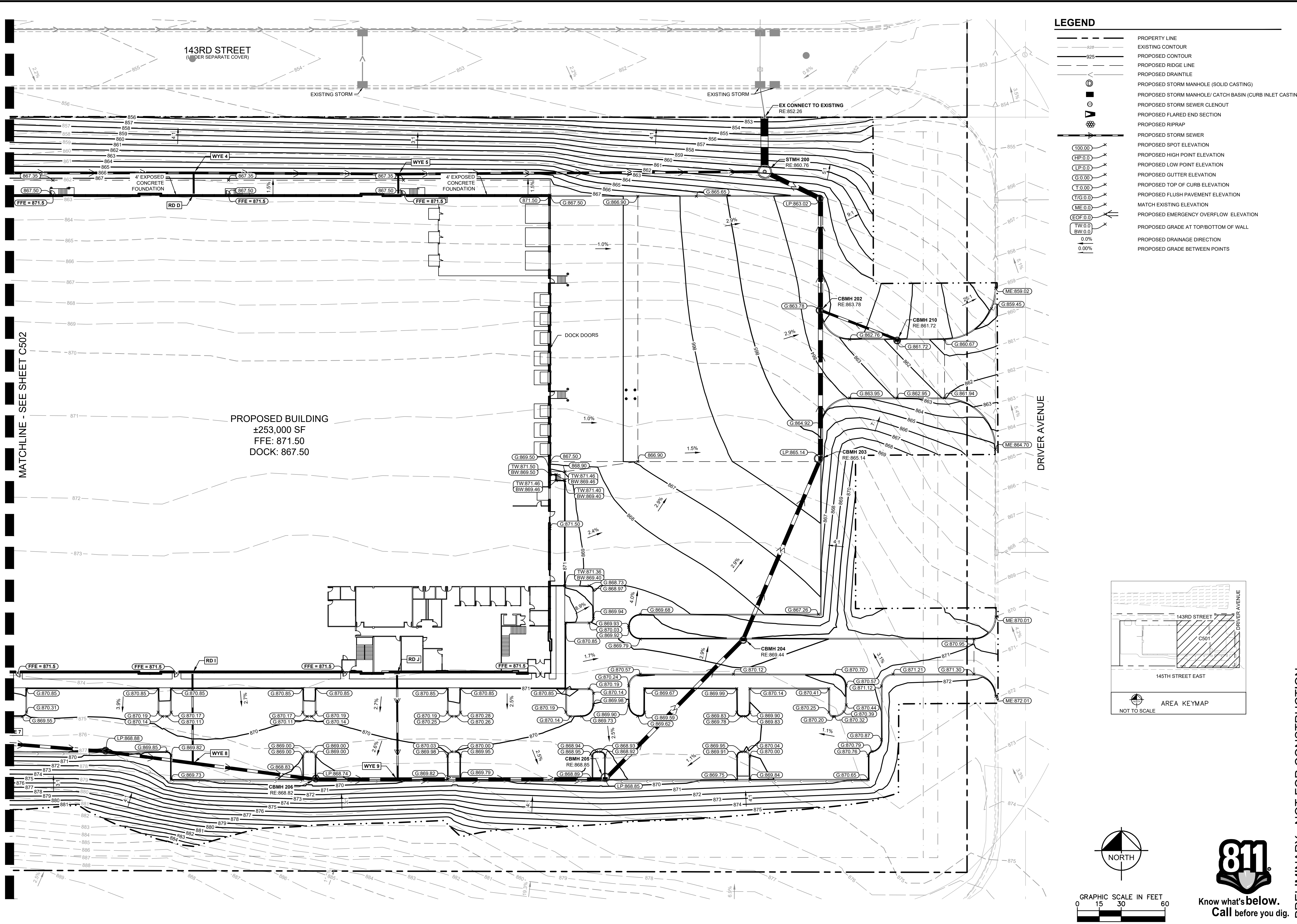
- PERFORM GRADING WORK IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
- CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF LAND DISTURBING ACTIVITIES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
- IN PAVED AREAS, ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE THE SITE READY FOR SUB-BASE.
- SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
- ELEVATIONS SHOWN REPRESENT FINISHED SURFACE GRADES. SPOT ELEVATIONS ALONG CURB & GUTTER REPRESENT THE FLOW LINE UNLESS OTHERWISE NOTED.
- EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES THAT PROVIDE POSITIVE DRAINAGE TO COLLECTION POINTS. MAINTAIN A MINIMUM SLOPE OF 1.25% IN ASPHALT PAVEMENT AREAS AND A MINIMUM SLOPE OF 0.50% IN CONCRETE PAVEMENT AREAS.
- MAINTAIN A MINIMUM SLOPE OF 0.50% ALONG CURB & GUTTER. REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL" CURB WHERE PAVEMENT DRAINS TOWARD THE GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM THE GUTTER.
- INSTALL A MINIMUM OF 4-INCHES OF AGGREGATE BASE MATERIAL UNDER PROPOSED CONCRETE CURB & GUTTER, SIDEWALKS, AND TRAILS UNLESS OTHERWISE DETAILED.
- GRADING FOR SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING CROSSING DRIVEWAYS, SHALL CONFORM TO CURRENT STATE & NATIONAL ADA STANDARDS:  
  
ACCESSIBLE RAMP SLOPES SHALL NOT EXCEED 8.3% (1:12).  
SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0%.  
LONGITUDINAL SIDEWALK SLOPES SHALL NOT EXCEED 5.0%.  
ACCESSIBLE PARKING STALLS AND ACCESS AISLES SHALL NOT EXCEED 2.0% IN ANY DIRECTION. A MAXIMUM SLOPE OF 1.50% IS PREFERRED.
- SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVEMENT INSTALLATION. CHANGE ORDERS WILL NOT BE ACCEPTED FOR ADA COMPLIANCE ISSUES.
- UPON COMPLETION OF LAND DISTURBING ACTIVITIES, RESTORE ADJACENT OFFSITE AREAS DISTURBED BY CONSTRUCTION TO MATCH OR EXCEED THE ORIGINAL CONDITION. LANDSCAPE AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4-INCHES OF TOPSOIL.
- EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS.



PRELIMINARY - NOT FOR CONSTRUCTION

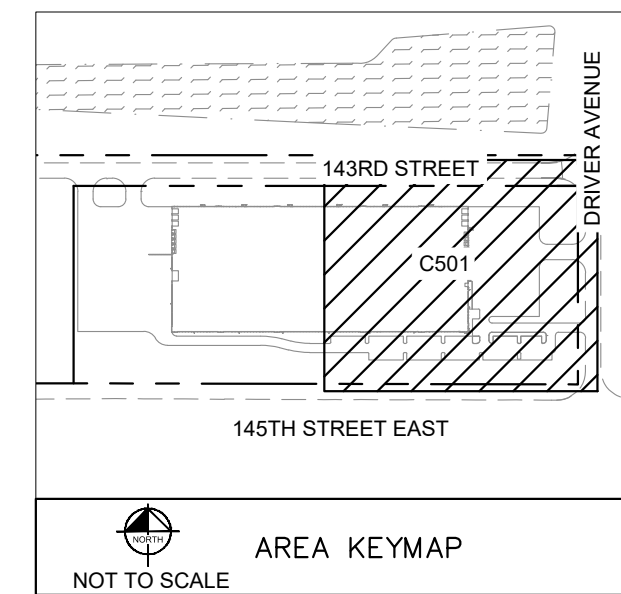
<p><b>Kimley»Horn</b></p> <p>2026 KIMLEY-HORN AND ASSOCIATES, INC. 787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-454-4197 WWW.KIMLEY-HORN.COM</p>	<p><b>OVERALL GRADING PLAN</b></p>	<p>ROSEMOUNT GOODIN PREPARED FOR SCANNELL PROPERTIES</p>	<p>ROSEMOUNT MN</p>	<p>KHA PROJECT 160846047</p>	<p>DATE 03/18/2026</p>	<p>SCALE AS SHOWN</p>	<p>DESIGNED BY RAV</p>	<p>DRAWN BY WLE</p>	<p>CHECKED BY RAV</p>	<p>NO.</p>	<p>REVISIONS</p>	<p>DATE</p>	<p>BY</p>
				<p>SHEET NUMBER <b>C500</b></p>	<p>Page 29 of 64</p>								

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**LEGEND**

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED RIDGE LINE
	PROPOSED DRAIN TILE
	PROPOSED STORM MANHOLE (SOLID CASTING)
	PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
	PROPOSED STORM SEWER CLENOUT
	PROPOSED FLARED END SECTION
	PROPOSED RIPRAP
	PROPOSED STORM SEWER
	PROPOSED SPOT ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED LOW POINT ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED FLUSH PAVEMENT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED EMERGENCY OVERFLOW ELEVATION
	PROPOSED GRADE AT TOP/BOTTOM OF WALL
	PROPOSED DRAINAGE DIRECTION
	PROPOSED GRADE BETWEEN POINTS



MATCHLINE - SEE SHEET C502

PROPOSED BUILDING  
±253,000 SF  
FFE: 871.50  
DOCK: 867.50

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KHA PROJECT 160946047	DATE 03/18/2026	SCALE AS SHOWN	DESIGNED BY RAV	DRAWN BY WLF	CHECKED BY RAV
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**GRADING AND DRAINAGE PLAN**

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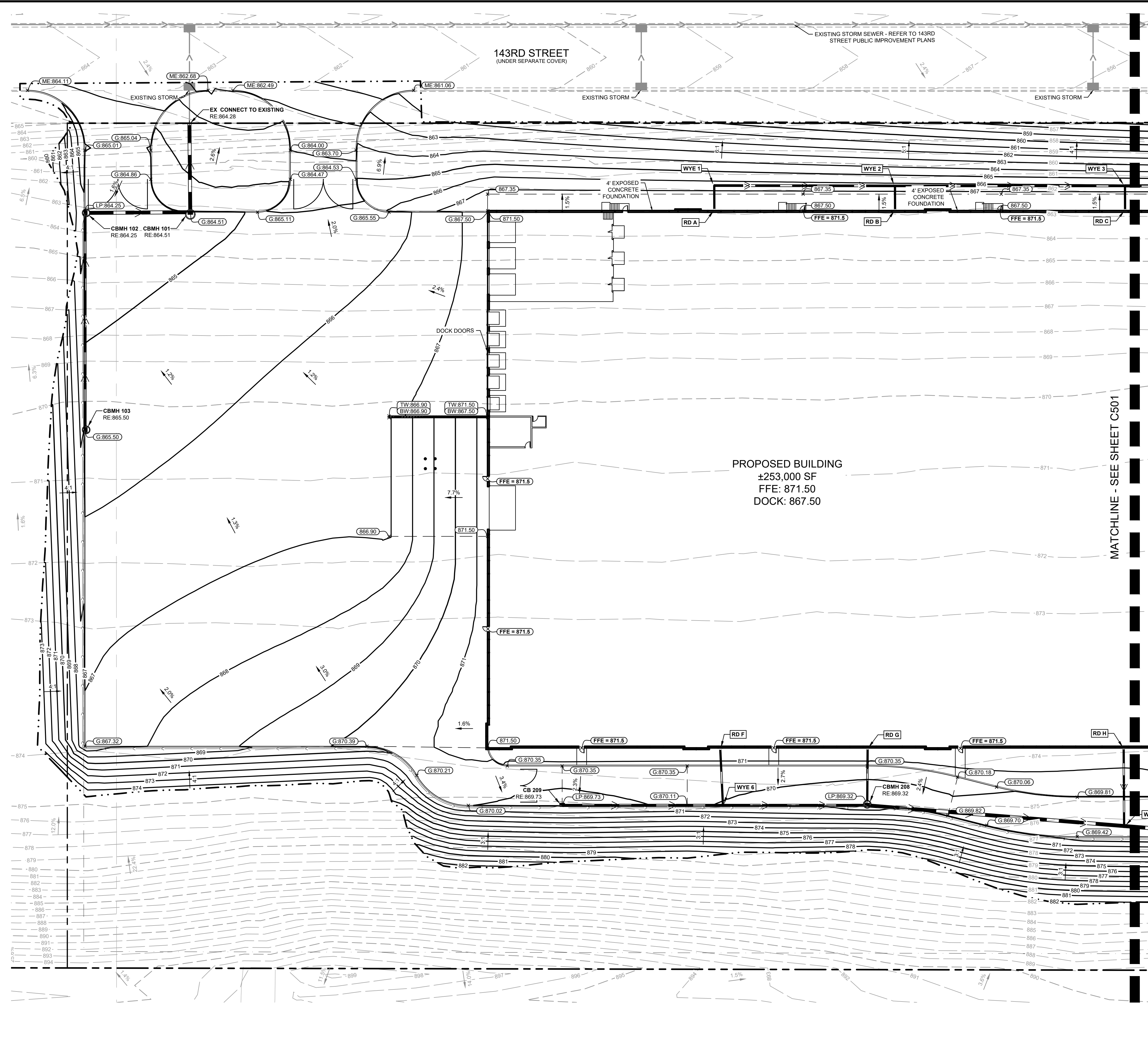
ROSEMOUNT  
GOODIN  
PREPARED FOR  
SCANNELL  
PROPERTIES  
ROSEMOUNT MN

SHEET NUMBER  
**C501**

REVISIONS

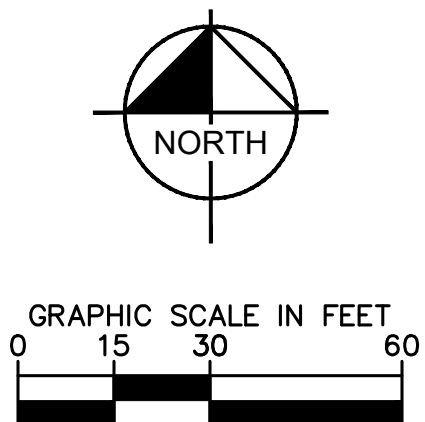
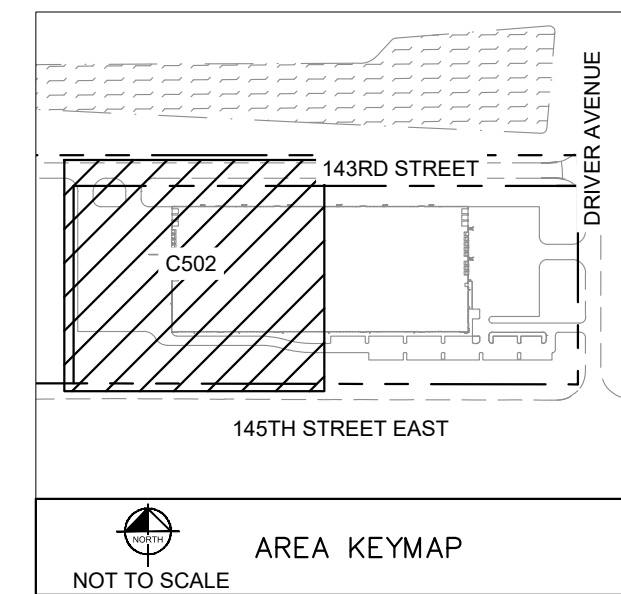
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**LEGEND**

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED RIDGE LINE
	PROPOSED DRAIN TILE
	PROPOSED STORM MANHOLE (SOLID CASTING)
	PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
	PROPOSED STORM SEWER CLEANOUT
	PROPOSED FLARED END SECTION
	PROPOSED RIPRAP
	PROPOSED STORM SEWER
	PROPOSED SPOT ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED LOW POINT ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED FLUSH PAVEMENT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED EMERGENCY OVERFLOW ELEVATION
	PROPOSED GRADE AT TOP/BOTTOM OF WALL
	PROPOSED DRAINAGE DIRECTION
	PROPOSED GRADE BETWEEN POINTS



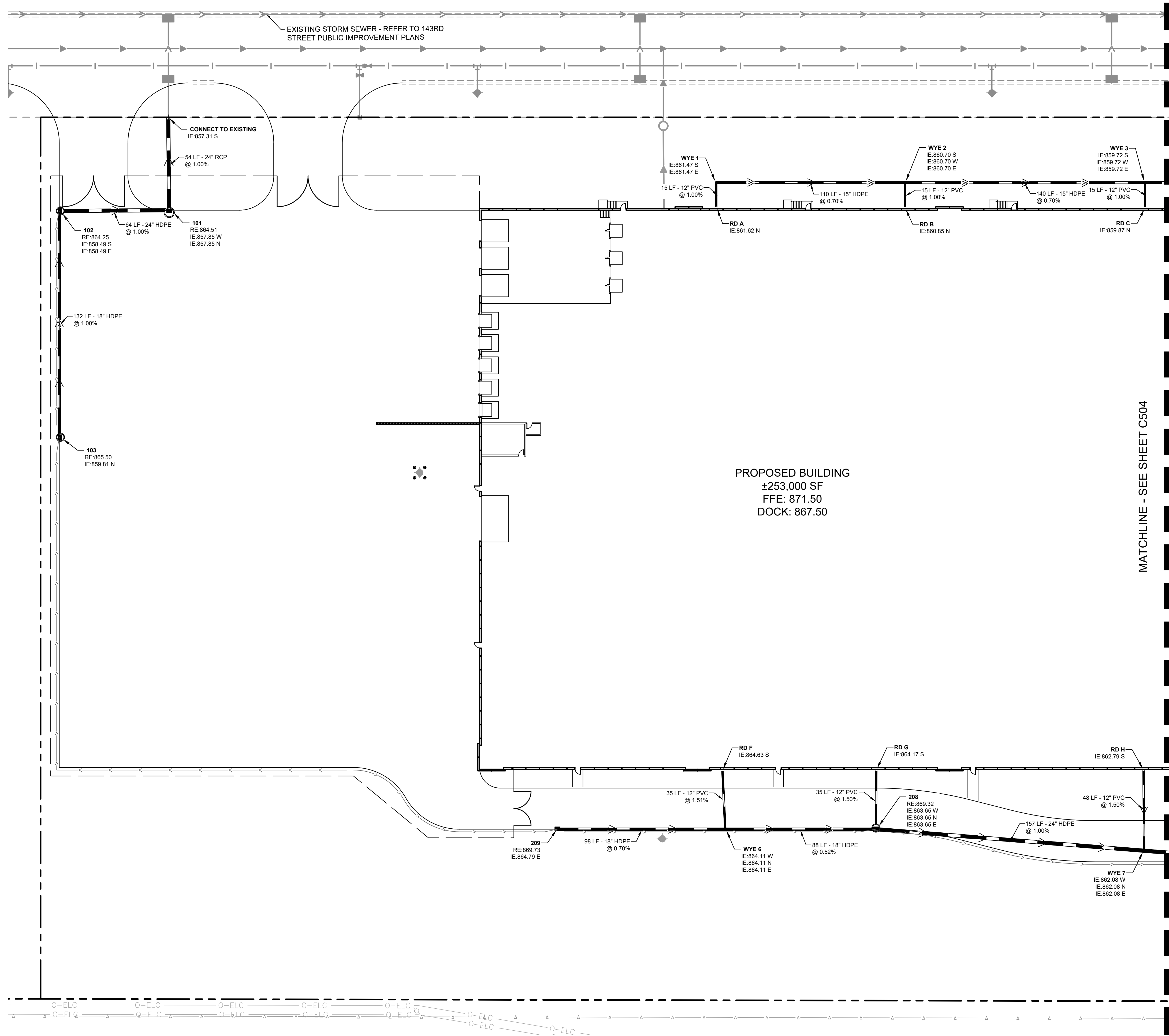
**811**  
Know what's below.  
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ROSEMOUNT GOODIN PREPARED FOR SCANNELL PROPERTIES	SHEET NUMBER <b>C502</b>	ROSEMOUNT MN	KHA PROJECT 160946047		DATE 03/18/2026		SCALE AS SHOWN		DESIGNED BY RAV		DRAWN BY WLE		CHECKED BY RAV	
			KIMLEY-HORN		2026 KIMLEY-HORN AND ASSOCIATES, INC. 787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-454-4197 WWW.KIMLEY-HORN.COM		REVISIONS		DATE		BY			

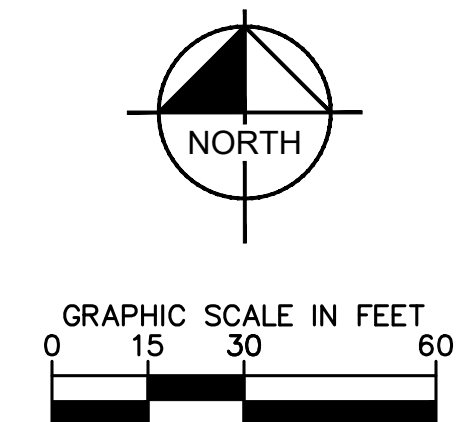
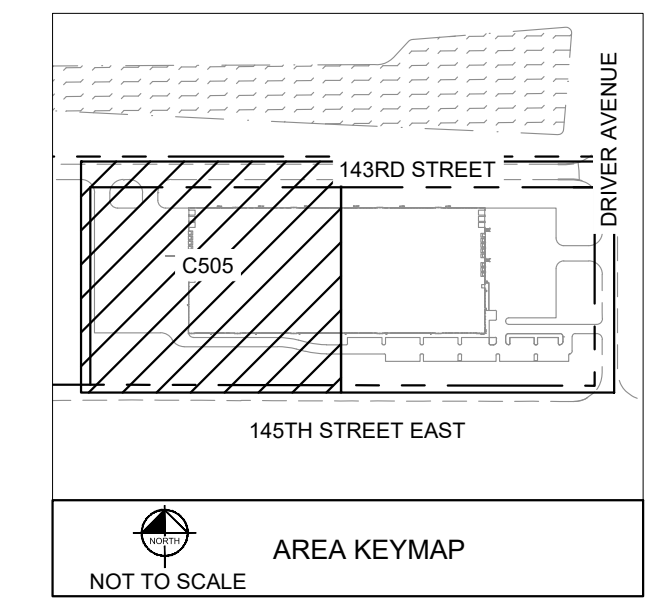






**LEGEND**

—	PROPERTY LINE
○	PROPOSED STORM MANHOLE (SOLID CASTING)
●	PROPOSED STORM MANHOLE (ROUND INLET CASTING)
◐	PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
○	PROPOSED STORM SEWER CLENOUT
—	PROPOSED FLARED END SECTION
▨	PROPOSED RIPRAP
—	PROPOSED STORM SEWER
—	PROPOSED DRAINTILE



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**ROSEMOUNT GOODIN PREPARED FOR SCANNELL PROPERTIES**

**STORM SEWER PLAN**

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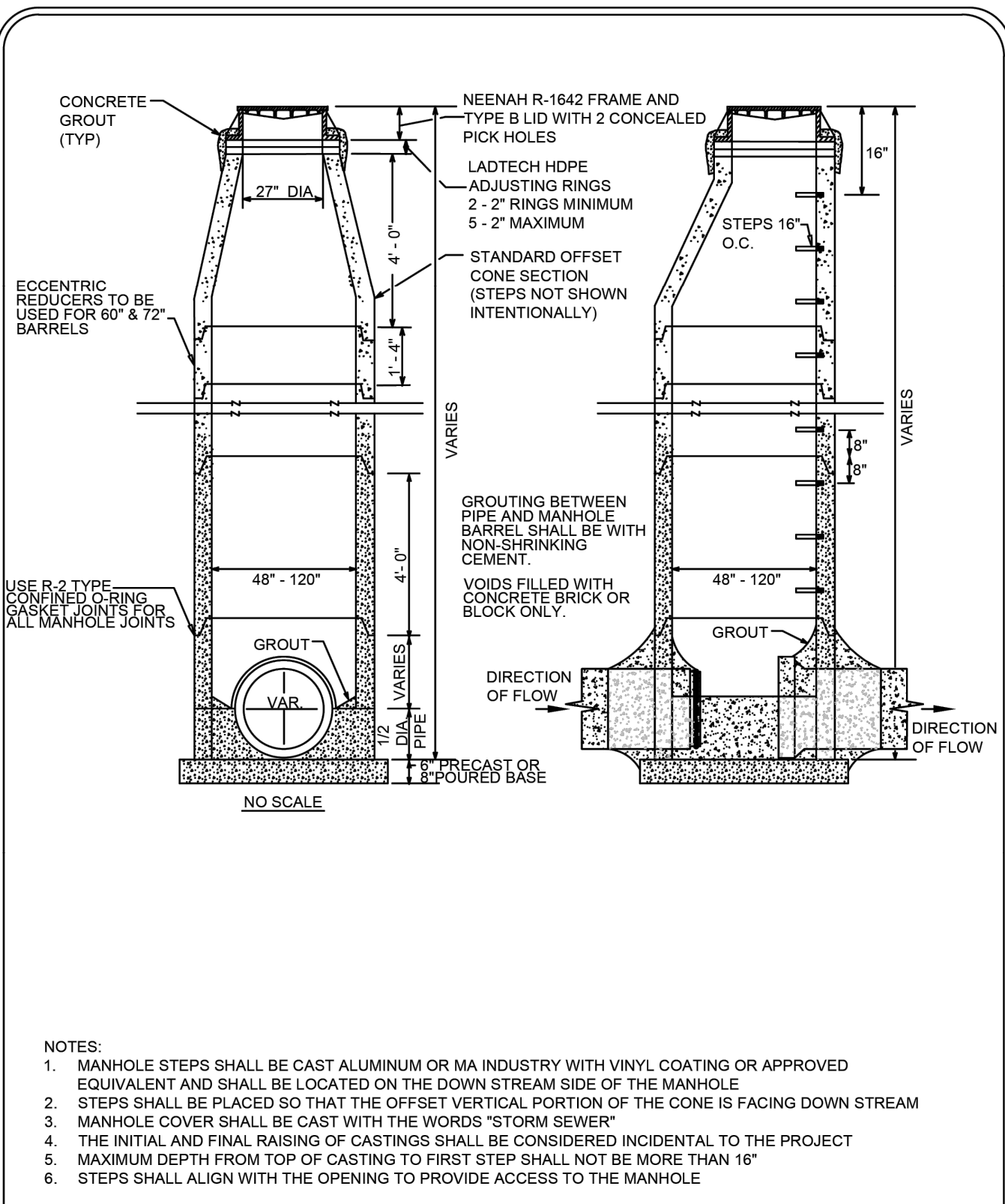
NO.	REVISIONS	DATE	BY

KHA PROJECT	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
160846047	03/18/2026	AS SHOWN	RAV	WLE

SHEET NUMBER  
**C505**

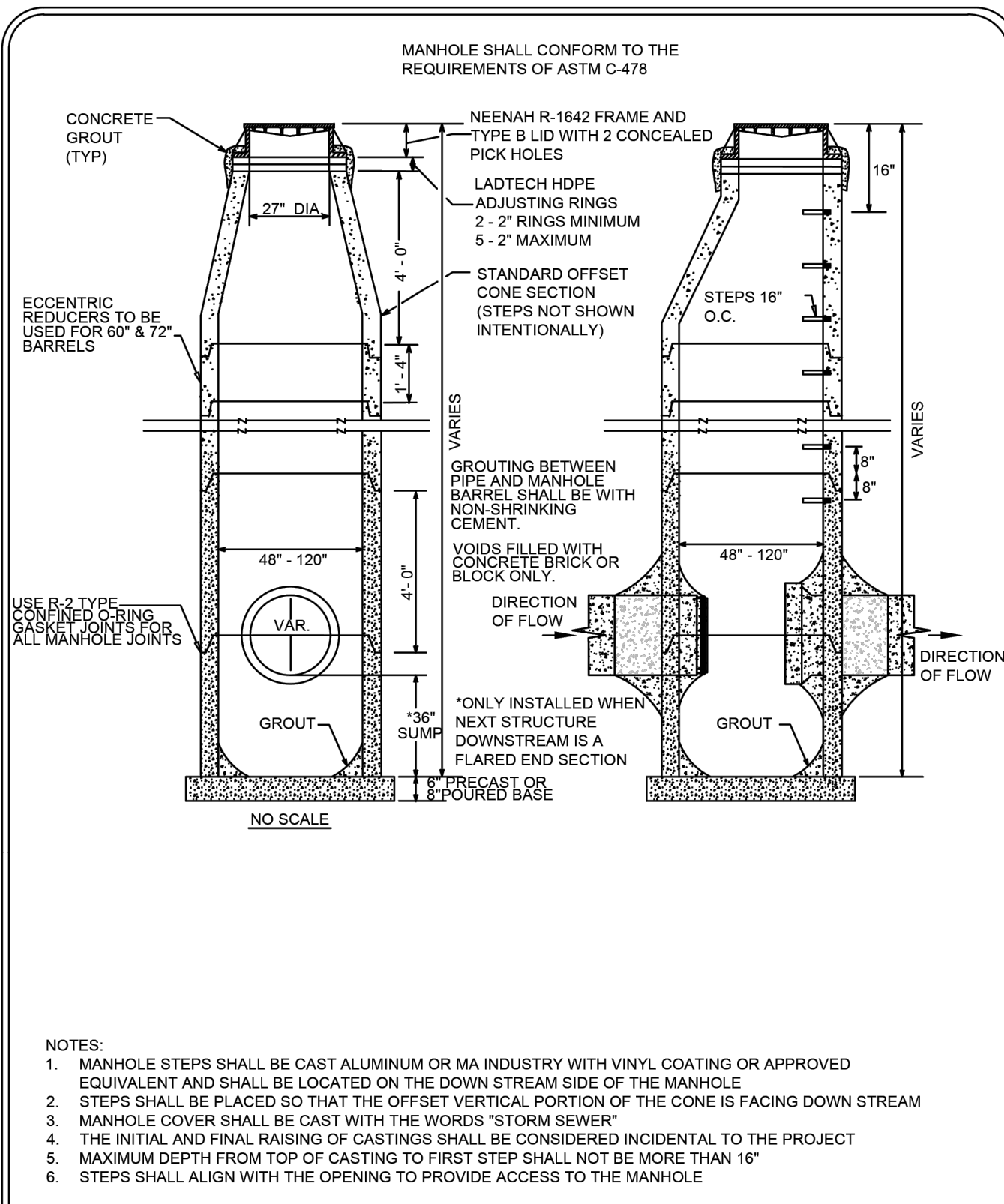
ROSEMOUNT MN

FOR REFERENCE ONLY



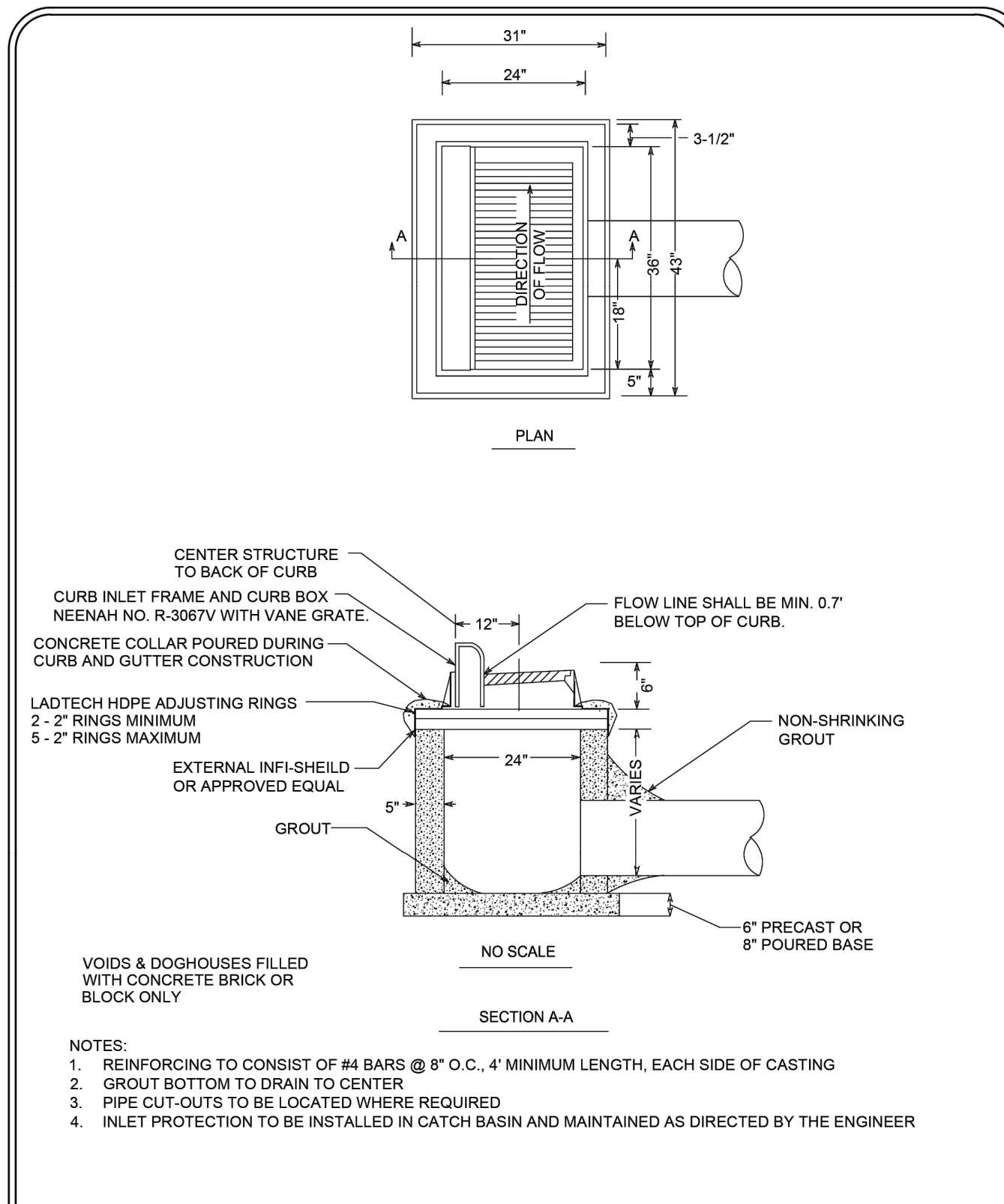
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			Date: 01-06-05	SD-3
			Revised: 01-21-15	

FOR REFERENCE ONLY



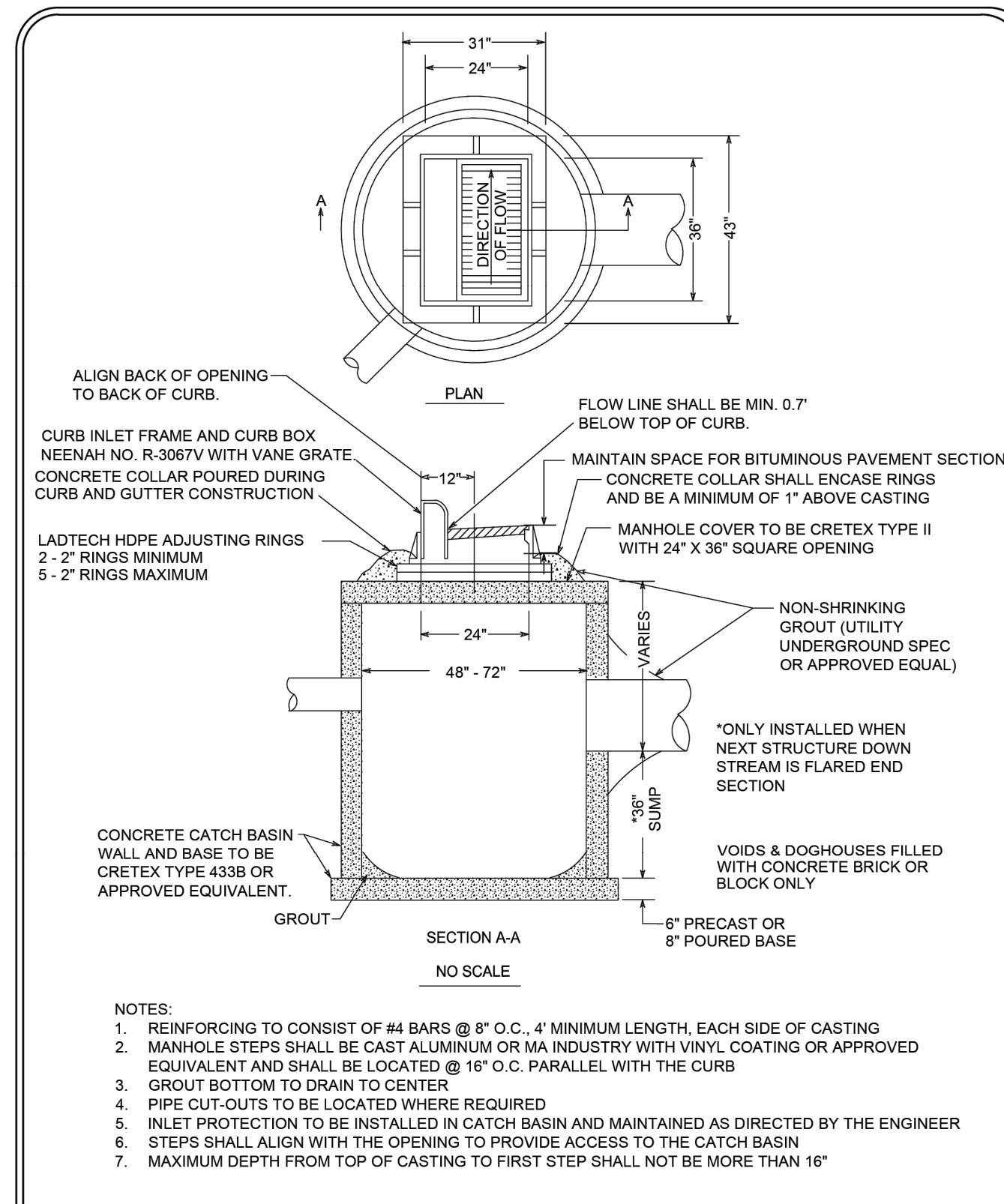
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			Date: 01-6-05	SD-4
			Revised: 02-08-23	

FOR REFERENCE ONLY



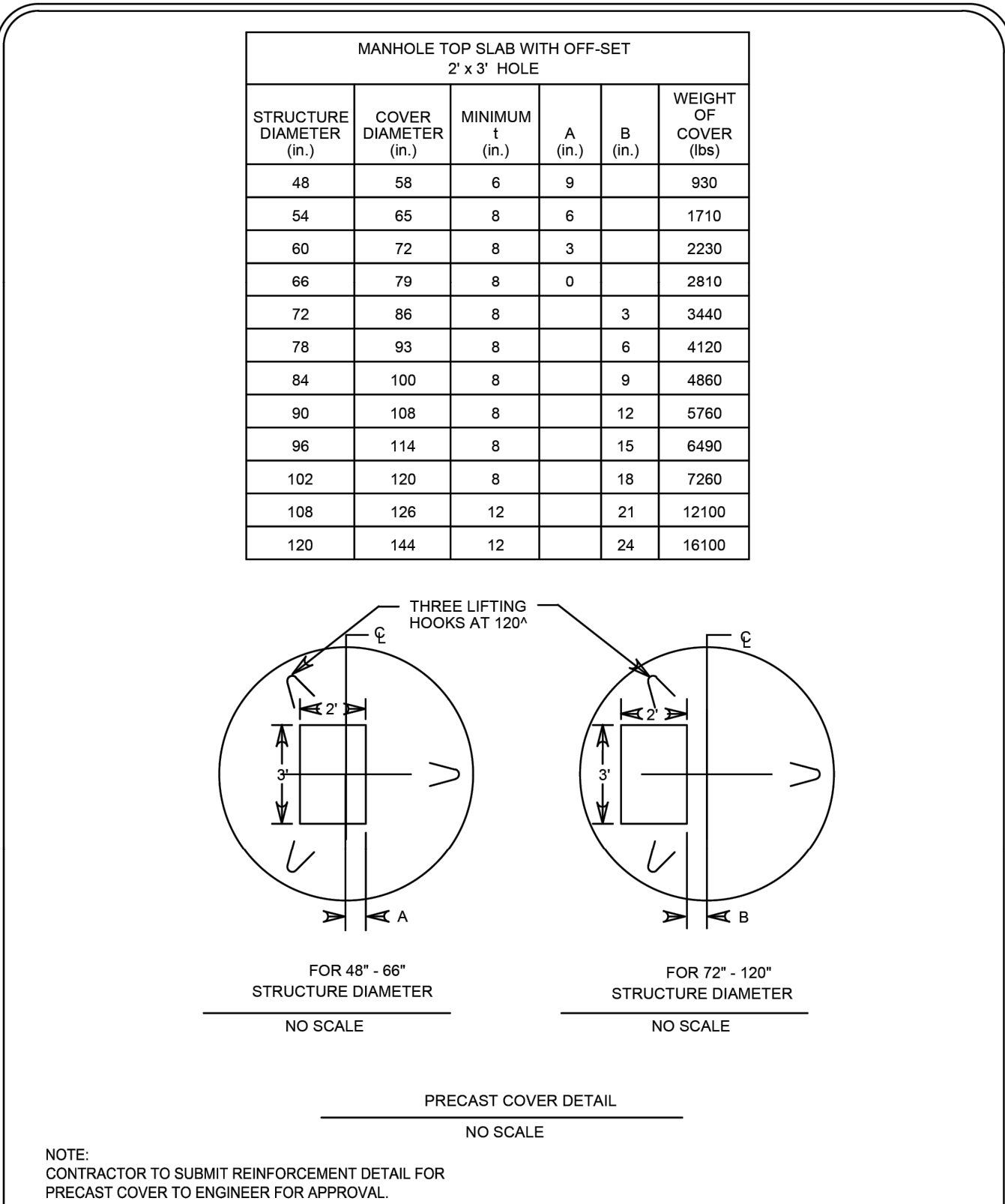
ROSEMOUNT SPIRIT OF PRIDE AND PROGRESS	Standard Plate Library for the City of Rosemount	STANDARD CATCH BASIN	Special Details	
			Date: 03-01-01	SD-1
			Revised: 01-21-15	

FOR REFERENCE ONLY



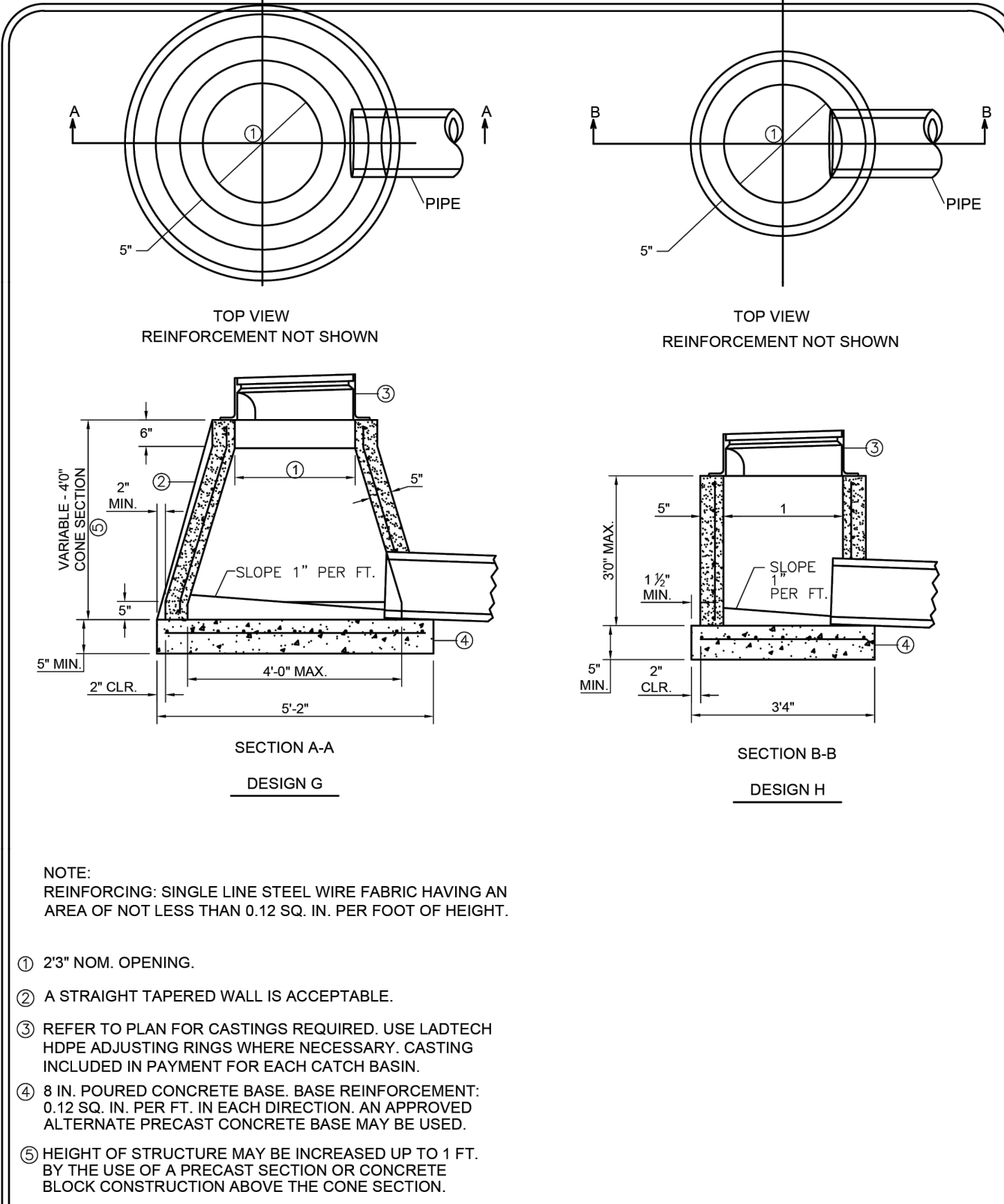
ROSEMOUNT SPIRIT OF PRIDE AND PROGRESS	Standard Plate Library for the City of Rosemount	CATCH BASIN SUMP MANHOLE	Special Details	
			Date: 03-01-01	SD-2
			Revised: 02-08-23	

FOR REFERENCE ONLY



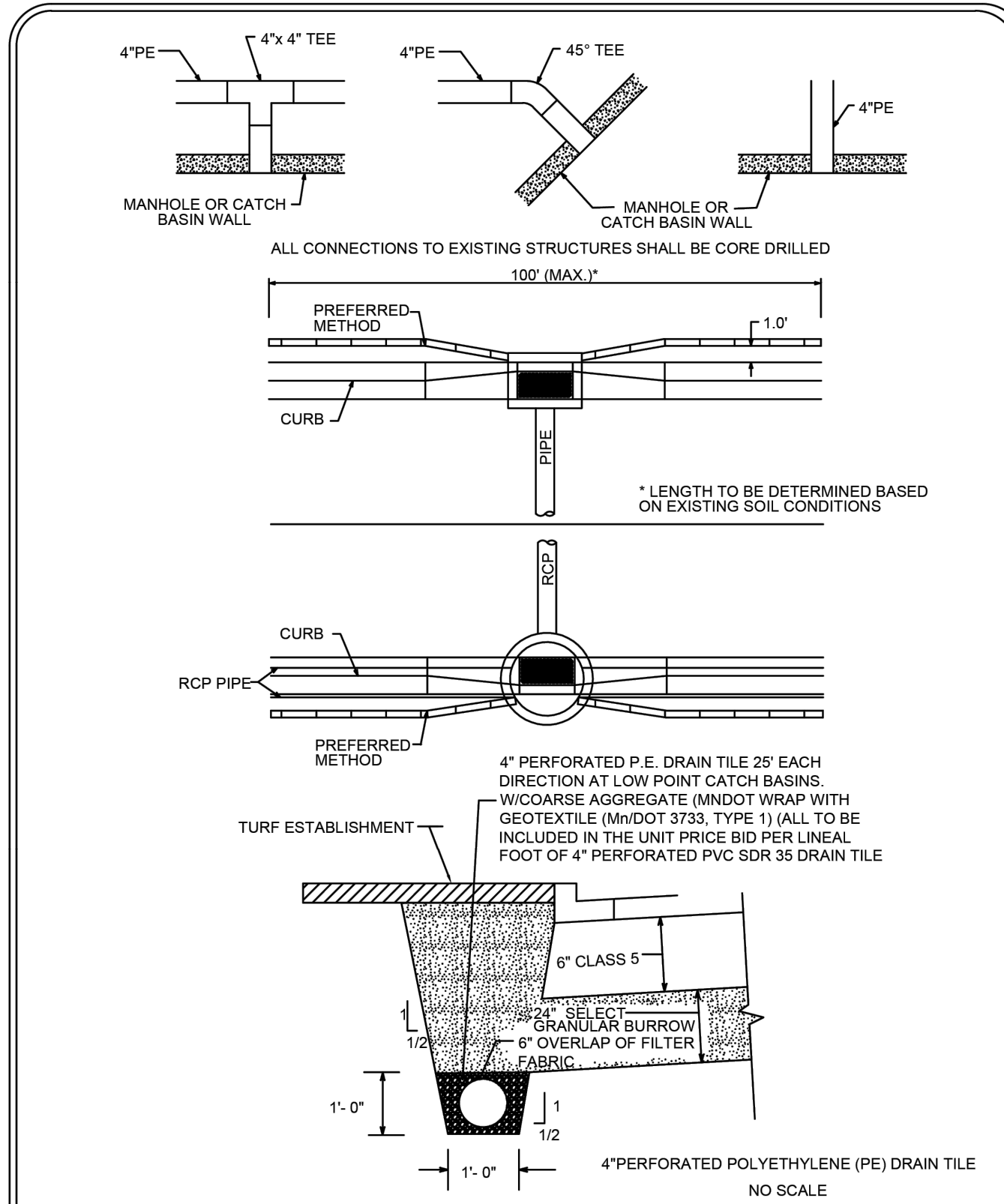
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			Date: 02-02-07	SD-6
			Revised:	

FOR REFERENCE ONLY



ROSEMOUNT SPIRIT OF PRIDE AND PROGRESS	Standard Plate Library for the City of Rosemount	CATCH BASIN DESIGN G & H	Special Details	
			Date: 02-02-07	SD-5
			Revised:	

FOR REFERENCE ONLY



ROSEMOUNT SPIRIT OF PRIDE AND PROGRESS	Standard Plate Library for the City of Rosemount	4\"/>	Special Details	
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			Revised: 02-08-23	

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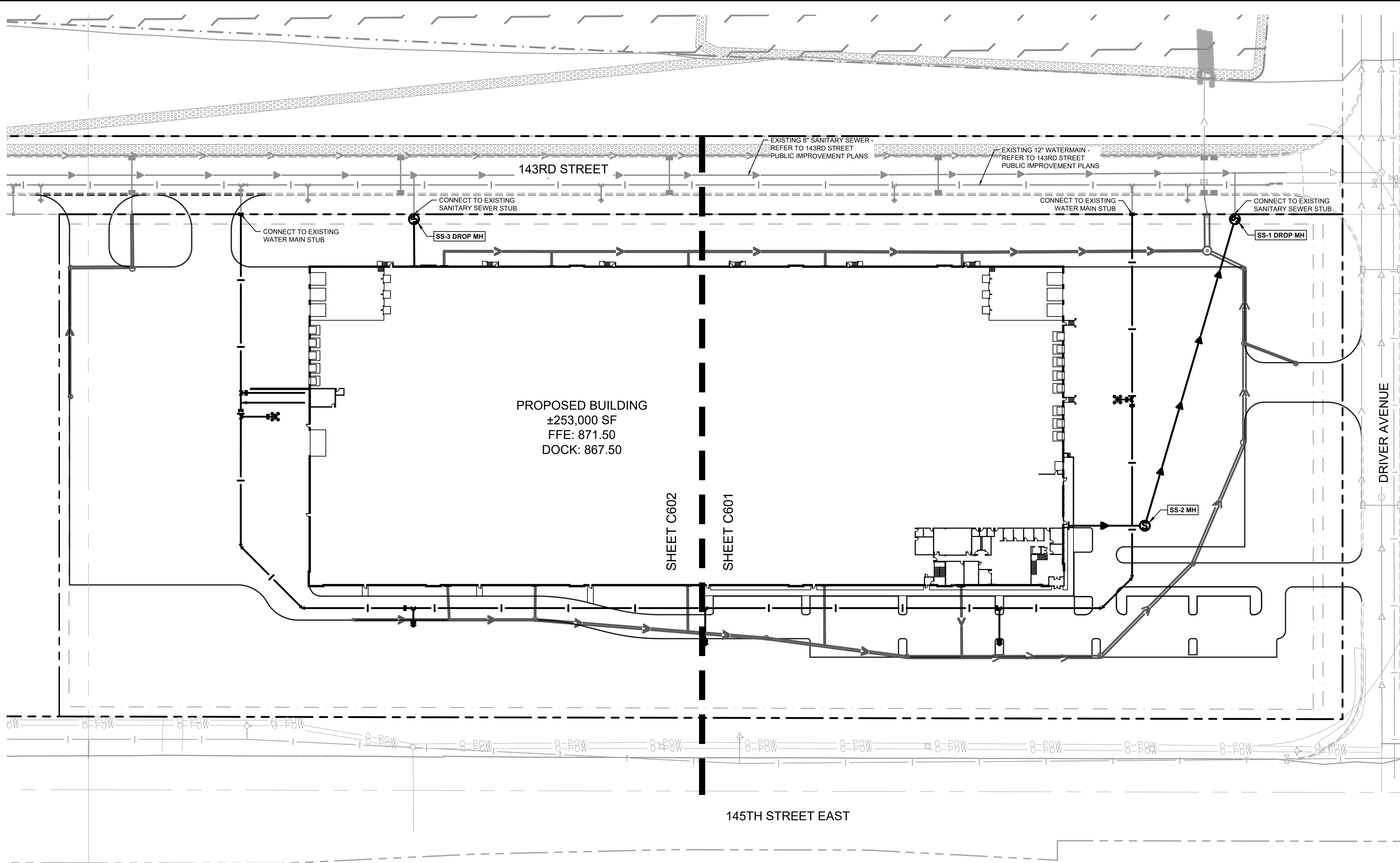
ROSEMOUNT GOODIN  
PREPARED FOR  
SCANNELL PROPERTIES  
ROSEMOUNT

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GRADING DETAILS

KHA PROJECT: 160846047	DATE: 03/18/2026	SCALE: AS SHOWN	DESIGNED BY: RAV	DRAWN BY: WLE	CHECKED BY: RAV
SHEET NUMBER		C506			

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LEGEND		
EXISTING	PROPOSED	
		GATE VALVE
		REDUCER
		SANITARY SEWER MANHOLE
		STORM CATCH BASIN
		SANITARY SEWER
		UNDERGROUND ELECTRIC
		GAS MAIN
		OVERHEAD ELECTRIC

REVISIONS		DATE	BY
No.			

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KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
160946047	03/18/2026	AS SHOWN	RAV	WLE	RAV

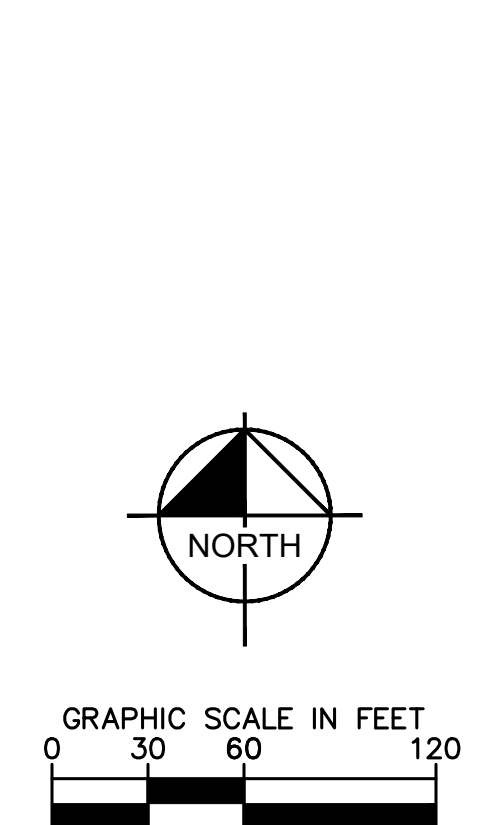
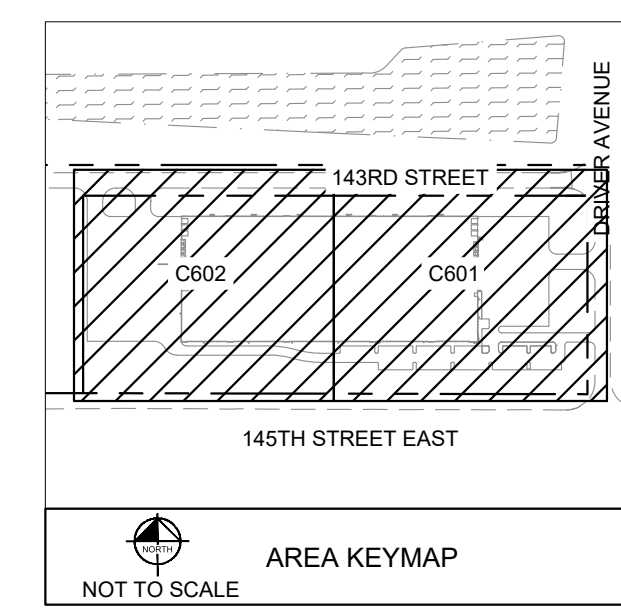
**OVERALL UTILITY PLAN**

ROSEMOUNT GOODIN  
 PREPARED FOR  
**SCANNELL PROPERTIES**  
 ROSEMOUNT, MN

PRELIMINARY - NOT FOR CONSTRUCTION

**UTILITY PLAN NOTES**

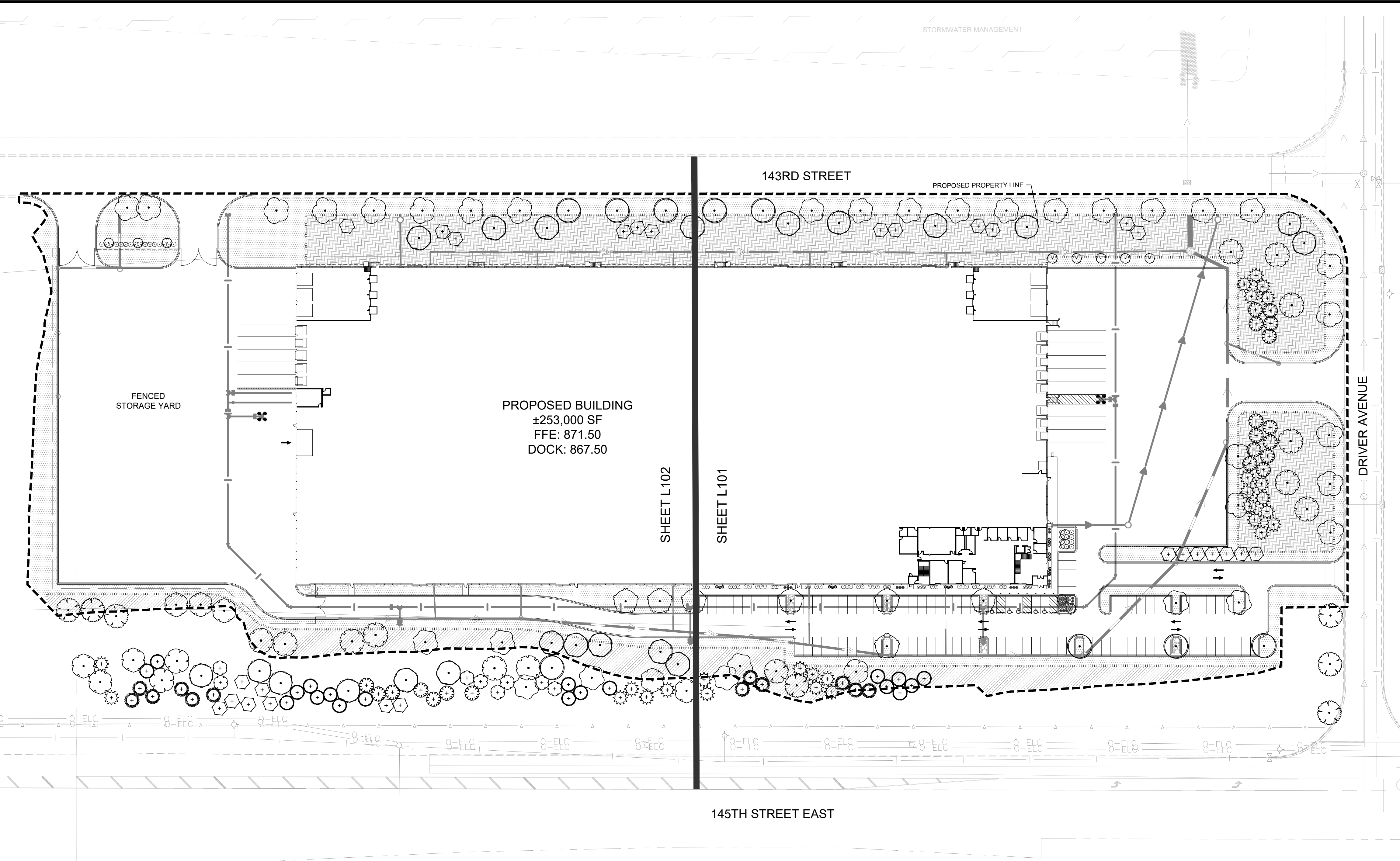
- INSTALL UTILITIES IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS, STATE PLUMBING CODE, AND BUILDING PERMIT REQUIREMENTS.
- CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- SANITARY SEWER PIPE SHALL BE:  
 PVC: ASTM D-2729, D-3034  
 PVC SCH 40: ASTM D-1785, F-714, F-894  
 SANITARY SEWER FITTINGS SHALL BE:  
 PVC: ASTM D-2729, D-3034  
 PVC SCH 40: ASTM D-2665, F-2794, F-1866
- WATER MAIN PIPE SHALL BE:  
 PVC: ASTM D-1785, D-2241, AWWA C-900  
 DUCTILE IRON: AWWA C-150  
 WATER MAIN FITTINGS SHALL BE:  
 PVC: ASTM D-2464, D-2466, D-2467, F-1970, AWWA C-907  
 DUCTILE IRON: AWWA C-153, C-110, ASME 316.4
- STORM SEWER PIPE SHALL BE:  
 RCP: ASTM C-76  
 HDPE: ASTM F-714, F-894  
 PVC: ASTM D-2729  
 PVC SCH 40: ASTM D-1785, D-2665, F-794  
 DRAIN TILE SHALL BE:  
 PE: ASTM F-6867  
 PVC: ASTM D-2729  
 STORM SEWER FITTINGS SHALL BE:  
 RCP: ASTM C-361, C-990, AND C-443  
 HDPE: ASTM D-3212  
 PVC: ASTM D-2729, JOINTS PER ASTM D-3212  
 PVC SCH 40: ASTM D-2665, F-794, F-1866
- WHEN CONNECTING TO AN EXISTING UTILITY LINE, FIELD VERIFY THE LOCATION, DEPTH, AND SIZE OF THE EXISTING PIPE(S) PRIOR TO INSTALLATION OF THE NEW LINES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
- PLACE AND COMPACT ALL FILL MATERIAL PRIOR TO INSTALLATION OF PROPOSED UNDERGROUND UTILITIES. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- MAINTAIN A MINIMUM OF 7'-6" COVER ON ALL WATER LINES.
- FOR WATER LINES AND STUB-OUTS UTILIZE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
- MAINTAIN 18-INCH MINIMUM VERTICAL SEPARATION WHERE SEWER PIPE CROSSES WATER LINES (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE). PROVIDE 10-FOOT HORIZONTAL SEPARATION BETWEEN SEWER PIPE AND WATER LINES.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (OR ANY OBSTRUCTION EXISTING AND PROPOSED), THE SANITARY PIPE MATERIAL SHALL BE PVC SCHEDULE 40 OR PVC C900 AND HAVE MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18-INCH VERTICAL SEPARATION MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151)
- ALL PVC & HDPE SEWER AND WATER PIPE SHALL HAVE A TRACER WIRE INSTALLED IN THE TRENCH AND TERMINATED PER THE DETAILS.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO PLACING BACKFILL.
- IN PAVEMENT AREAS, RAISE MANHOLE CASTINGS TO BE FLUSH WITH PROPOSED FINISHED SURFACE GRADE. IN GREEN AREAS, RAISE MANHOLE CASTINGS TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATION & INSTALL A WATERTIGHT LID.
- REFER TO PLUMBING PLANS FOR LOCATION, SIZE AND ELEVATION OF UTILITY SERVICE CONNECTIONS AND ROOF DRAINS TO THE INTERIOR BUILDING SYSTEMS, BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) & METERS ARE LOCATED INSIDE THE BUILDING.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- REFER TO THE SITE ELECTRICAL PLANS FOR SPECIFICATIONS OF THE PROPOSED SITE LIGHTING AND ELECTRICAL EQUIPMENT.
- EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS. REFER TO THE GRADING PLAN FOR DETAILED SURFACE ELEVATIONS.
- EXCESS MATERIAL, ABANDONED UTILITY ITEMS, AND OTHER UNUSABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
- COORDINATE WITH THE PLUMBING PLANS FOR THE LOCATION, SIZE AND ELEVATION OF THE PROPOSED UNDERGROUND ROOF DRAIN CONNECTIONS.
- WHERE STORM SEWER ROOF DRAINS HAVE LESS THAN 4- FEET OF COVER IN PAVED AREAS OR 3- FEET OF COVER IN LANDSCAPE AREAS, PROVIDE 3-INCH THICK INSULATION A MINIMUM OF 5- FEET IN WIDTH, CENTERED ON THE PIPE.
- ALL STORM SEWER PIPE JOINTS SHALL BE WATER-TIGHT CONNECTIONS.
- ALL STORM SEWER PIPE CONNECTIONS TO MANHOLES SHALL BE GASKETED AND WATER TIGHT. BOOTED COUPLERS AT THE STRUCTURE OR A WATER STOP WITH NON-SHRINK GROUT MAY BE USED IN ACCORDANCE WITH LOCAL CODES.
- CONTRACTOR SHALL AIR TEST ALL STORM SEWER PIPE IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS.











### LANDSCAPE SUMMARY

**GENERAL LANDSCAPE REQUIREMENTS**

TREES REQUIRED:	226 TREES = 677,000 S.F. OF LAND AREA / 3,000
TREES PROVIDED:	226 TREES
FOUNDATION PLANTING REQUIRED:	221 L.F. = 2,206 L.F. OF BUILDING PERIMETER / 10 L.F.
FOUNDATION PLANTING PROVIDED:	400 L.F.

**NOTE:**

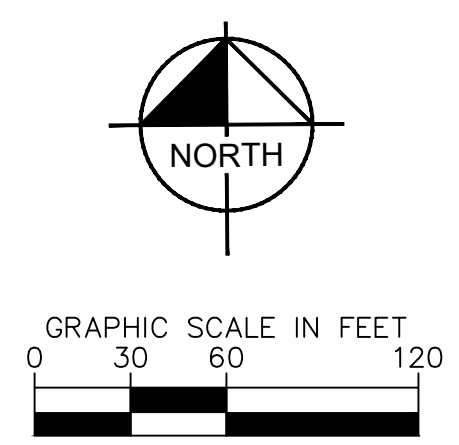
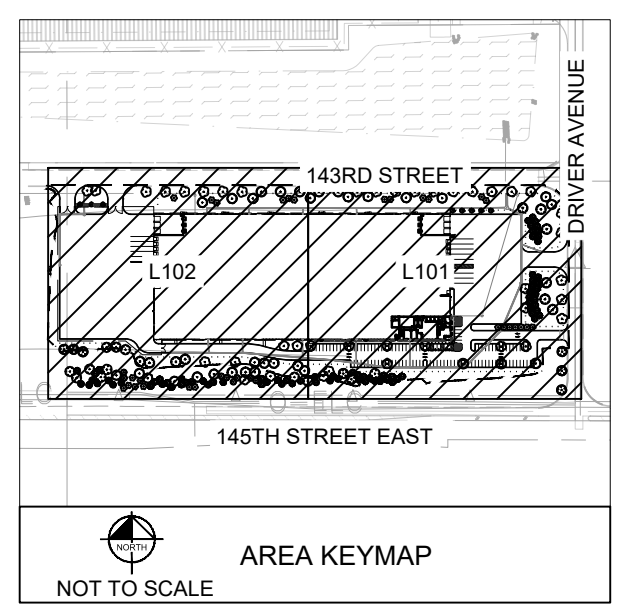
- SPACING BETWEEN THE TREES SHALL BE A MAXIMUM OF 50L.F. ALONG THE PERIMETER OF THE SITE ADJACENT TO ANY ROADWAY.
- AT LEAST 50% OF TOTAL NUMBER OF REQUIRED OVERSTORY TREES SHALL BE DECIDUOUS.
- ALL TREES PLANTED ALONG THE SITE PERIMETER ADJACENT TO A ROADWAY SHALL BE OF SHADE OR FLOWERING TREE TYPE.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED

**PARKING LOT LANDSCAPING**

SCREENING REQUIRED:	ALL PARKING AREAS SHALL BE SCREENED AND LANDSCAPED SUBJECT TO PLANNING COMMISSION REVIEW SEE PLAN
SCREENING PROVIDED:	
INTERIOR LANDSCAPE AREA REQUIRED:	1,810 S.F. = 36,194 S.F. OF PARKING AREA * .05
INTERIOR LANDSCAPE AREA PROVIDED:	2,950 S.F.
MINIMUM ISLAND DIMENSIONS REQUIRED:	ISLANDS SHALL BE AT LEAST 8.5L.F. WIDE WITH AN AREA OF 324 S.F.
MINIMUM ISLAND DIMENSIONS PROVIDED:	9 L.F.
TREES REQUIRED:	11 TREES = 103 SPACES / 10
TREES PROVIDED:	11 TREES
SHRUBS AND GROUNDCOVER REQUIRED:	ALL ISLANDS SHALL BE LANDSCAPED WITH SHRUBS OR GROUND COVER, NOT TO EXCEED 2' IN HEIGHT
SHRUBS AND GROUNDCOVER PROVIDED:	ALL ISLANDS ARE LANDSCAPED WITH SHRUBS OR GROUND COVER, NOT TO EXCEED 2' IN HEIGHT

**LOADING AREA REQUIREMENTS**

SCREENING REQUIRED:	A MINIMUM OF 90% OPACITY SCREEN TO A HEIGHT OF AT LEAST 18'
SCREENING PROVIDED:	A MINIMUM OF 90% OPACITY SCREEN TO A HEIGHT OF AT LEAST 18'



NO.	REVISIONS	DATE	BY

2026 KIMLEY-HORN AND ASSOCIATES, INC.  
 787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
 PHONE: 651-454-4197  
 WWW.KIMLEY-HORN.COM

KHA PROJECT	160846047
DATE	03/18/2026
SCALE	AS SHOWN
DESIGNED BY	CFK
DRAWN BY	ATK
CHECKED BY	CFK

**OVERALL LANDSCAPE PLAN**

ROSEMOUNT  
 GOODIN  
 PREPARED FOR  
 SCANNELL  
 PROPERTIES  
 ROSEMOUNT MN

PRELIMINARY - NOT FOR CONSTRUCTION

811  
 Know what's below.  
 Call before you dig.

SHEET NUMBER  
**L100**

**LANDSCAPE LEGEND**

- EDGER (TYP.)
- APPROXIMATE LIMITS OF SEEDING, SEED ALL DISTURBED AREAS (TYP.)
- SEED/SOD EDGE (TYP.)

**LANDSCAPE KEYNOTES**

- (A) EDGER (TYP.)
- (B) DOUBLE SHREDDED HARDWOOD MULCH (TYP.)

**REFERENCE NOTES SCHEDULE**

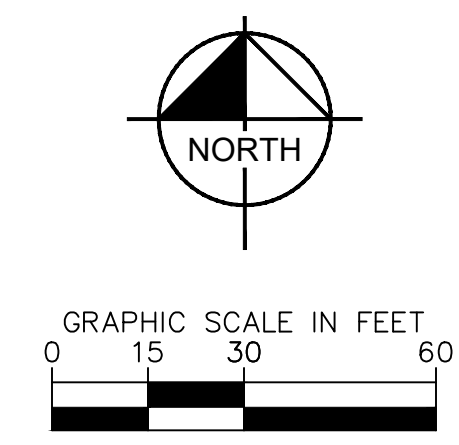
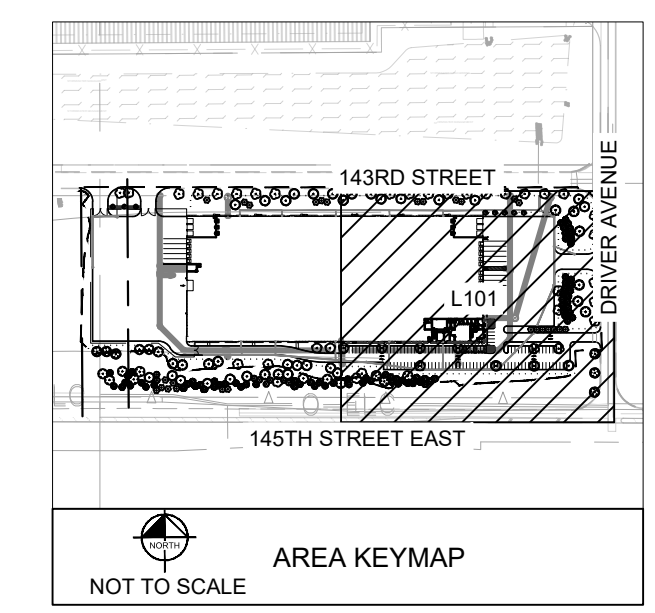
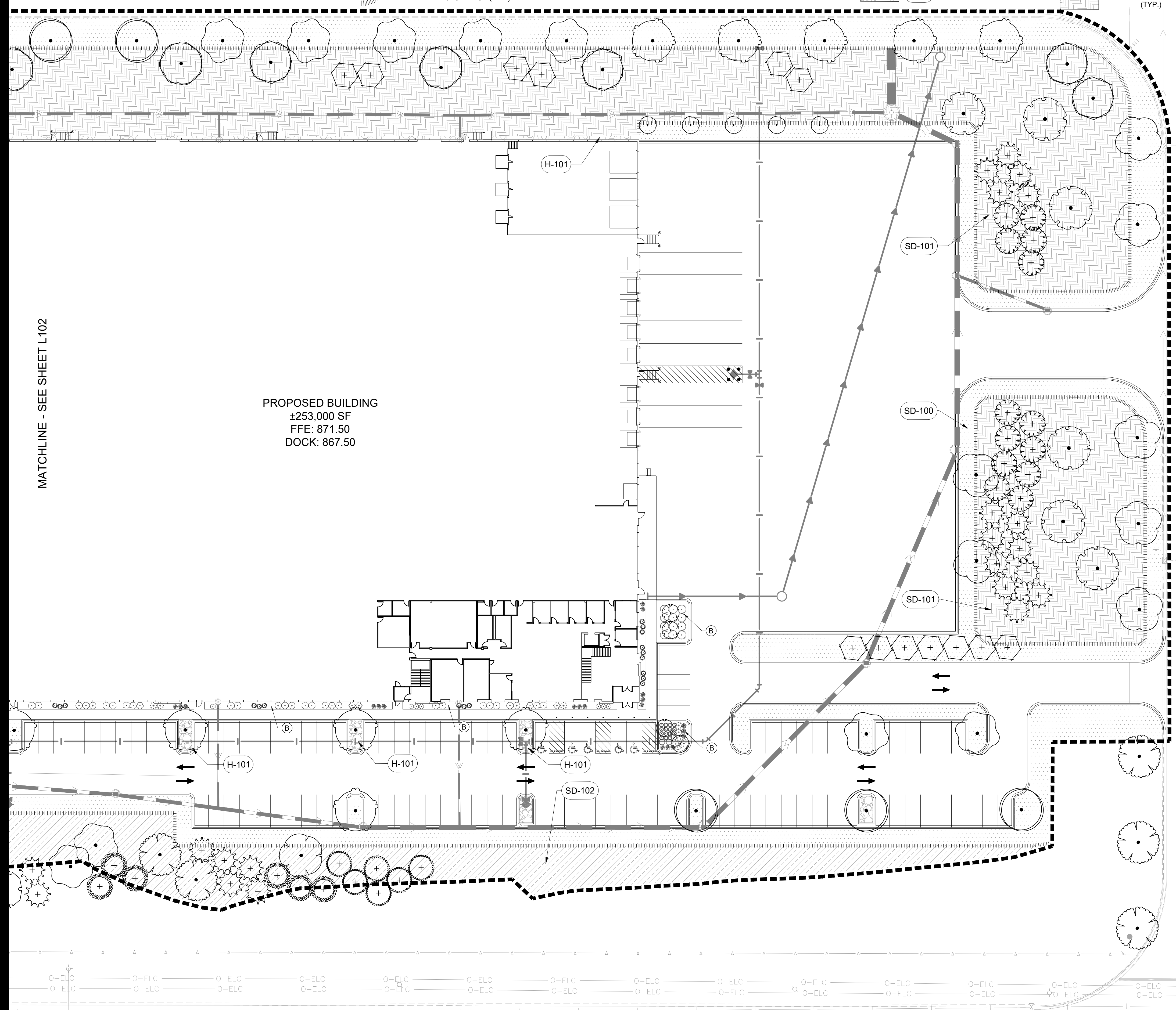
SYMBOL	CODE	DESCRIPTION
	H-101	GRAY DRESSER TRAP ROCK MULCH

**SEED**

- SD-100 SEED WITH MNDOT SOUTHERN BOULEVARD (SB) SEED MIX (TYP.)
- SD-101 SEED WITH MNDOT SOUTHERN SHORTGRASS ROADSIDE (SSR) SEED MIX (TYP.)
- SD-102 SEED WITH MNDOT SOUTHERN TALLGRASS ROADSIDE (STR) SEED MIX (TYP.)

**PLANT KEY**

SYMBOL	COMMON NAME
	ST CROIX™ ELM
	BLACK HILLS SPRUCE
	BLACK SPRUCE
	EASTERN RED CEDAR
	JACK PINE
	RED PINE
	WHITE PINE
	SKYLINE® HONEY LOCUST
	SENTRY® LINDEN
	SWAMP WHITE OAK
	<b>CONIFEROUS SHRUBS</b>
	DARK GREEN YEW
	DWARF MUGO PINE
	SEA GREEN JUNIPER
	<b>OVERSTORY TREE</b>
	BRANDYWINE RED MAPLE
	BUR OAK
	CRIMSON SENTRY MAPLE
	CRIMSON SPIRE OAK
	FALL FIESTA SUGAR MAPLE
	MATADOR™ MAPLE
	NORTHERN RED OAK
	SHAGBARK HICKORY
	<b>DECIDUOUS SHRUBS</b>
	DWARF BUSH HONEYSUCKLE
	DAKOTA SUNSPOT® BUSH CINQUEFOIL
	GRO-LOW FRAGRANT SUMAC
	CORAL KNOCK OUT® ROSE
	LITTLE DEVIL™ NINEBARK
	PURPLE LEAF SAND CHERRY
	SEM FALSE SPIRAEA
	SHOW OFF® FORSYTHIA
	<b>ORNAMENTAL GRASSES</b>
	PURPLE FLAME GRASS
	KARL FOERSTER GRASS



No.	REVISIONS	DATE	BY

**Kimley»Horn**  
 2026 KIMLEY-HORN AND ASSOCIATES, INC.  
 787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
 PHONE: 651-452-4197  
 WWW.KIMLEY-HORN.COM

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
160946047	03/18/2026	AS SHOWN	CFK	ATK	CFK

**LANDSCAPE PLAN**

PRELIMINARY - NOT FOR CONSTRUCTION

ROSEMOUNT  
 GOODIN  
 PREPARED FOR  
 SCANNELL  
 PROPERTIES  
 ROSEMOUNT MN

SHEET NUMBER  
**L101**

**LANDSCAPE LEGEND**

- EDGER (TYP.)
- APPROXIMATE LIMITS OF SEEDING, SEED ALL DISTURBED AREAS (TYP.)
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**LANDSCAPE KEYNOTES**

- (A) EDGER (TYP.)
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**REFERENCE NOTES SCHEDULE**

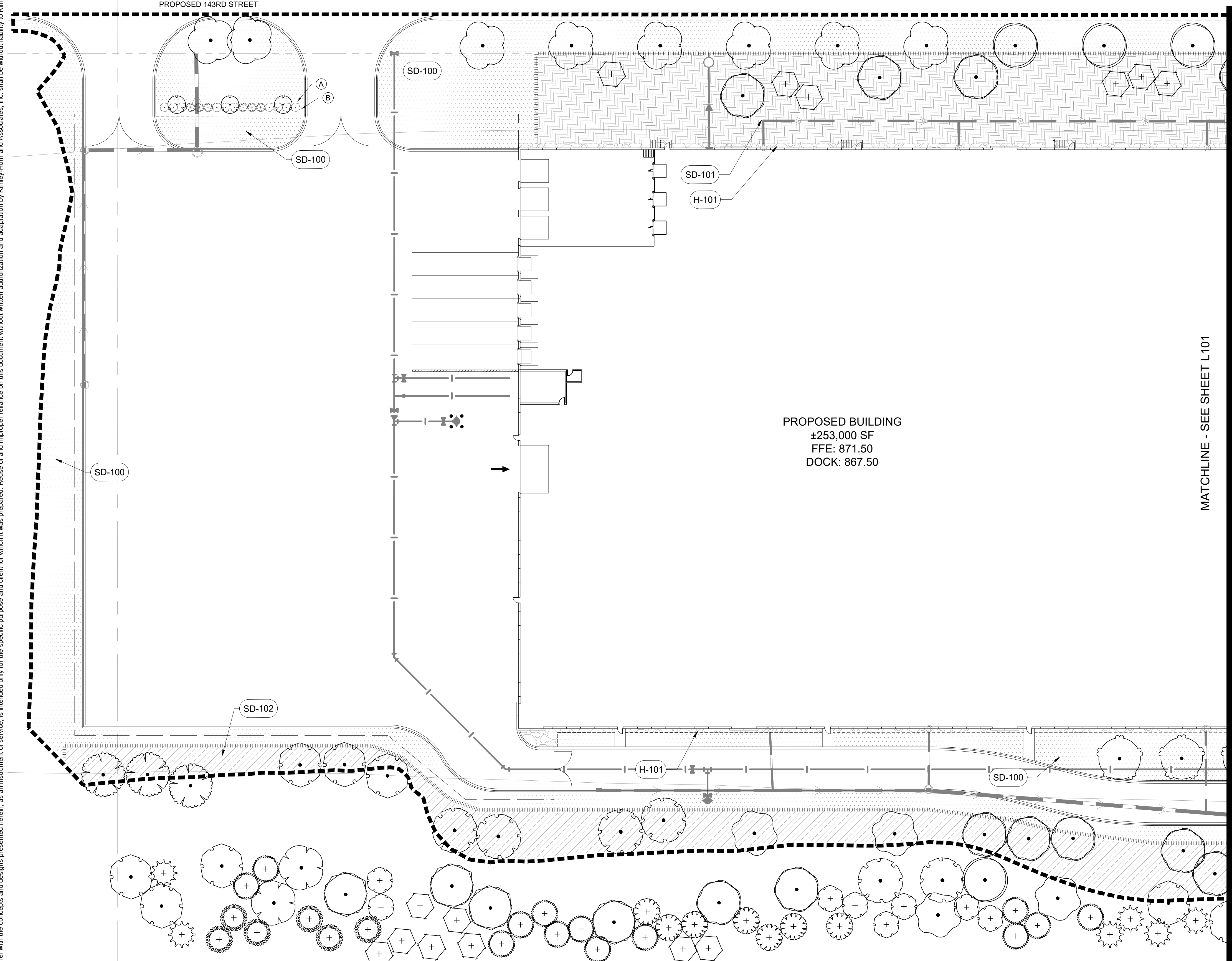
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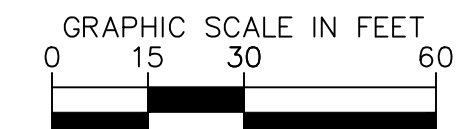
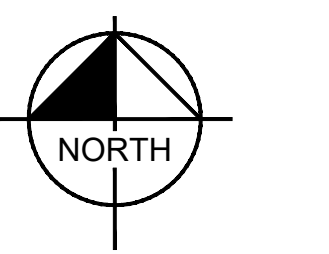
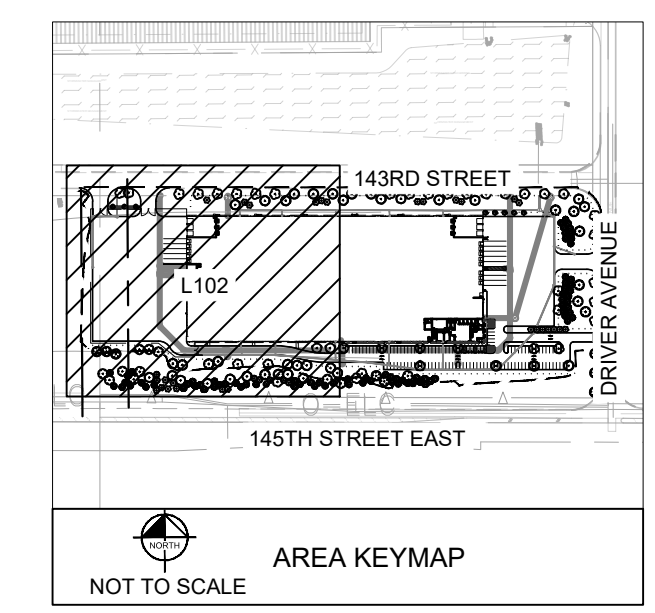
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SYMBOL	COMMON NAME
	ST CROIX™ ELM
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	PURPLE LEAF SAND CHERRY
	SEM FALSE SPIRAEA
	SHOW OFF® FORSYTHIA
	PURPLE FLAME GRASS
	KARL FOERSTER GRASS



PROPOSED BUILDING  
 ±253,000 SF  
 FFE: 871.50  
 DOCK: 867.50

MATCHLINE - SEE SHEET L101



NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
 2026 KIMLEY-HORN AND ASSOCIATES, INC.  
 787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
 PHONE: 651-454-4197  
 WWW.KIMLEY-HORN.COM

PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
KHA PROJECT 160946047	03/18/2026	AS SHOWN	CFK	ATK	CFK

**LANDSCAPE PLAN**

PRELIMINARY - NOT FOR CONSTRUCTION

ROSEMOUNT GOODIN PREPARED FOR SCANNELL PROPERTIES

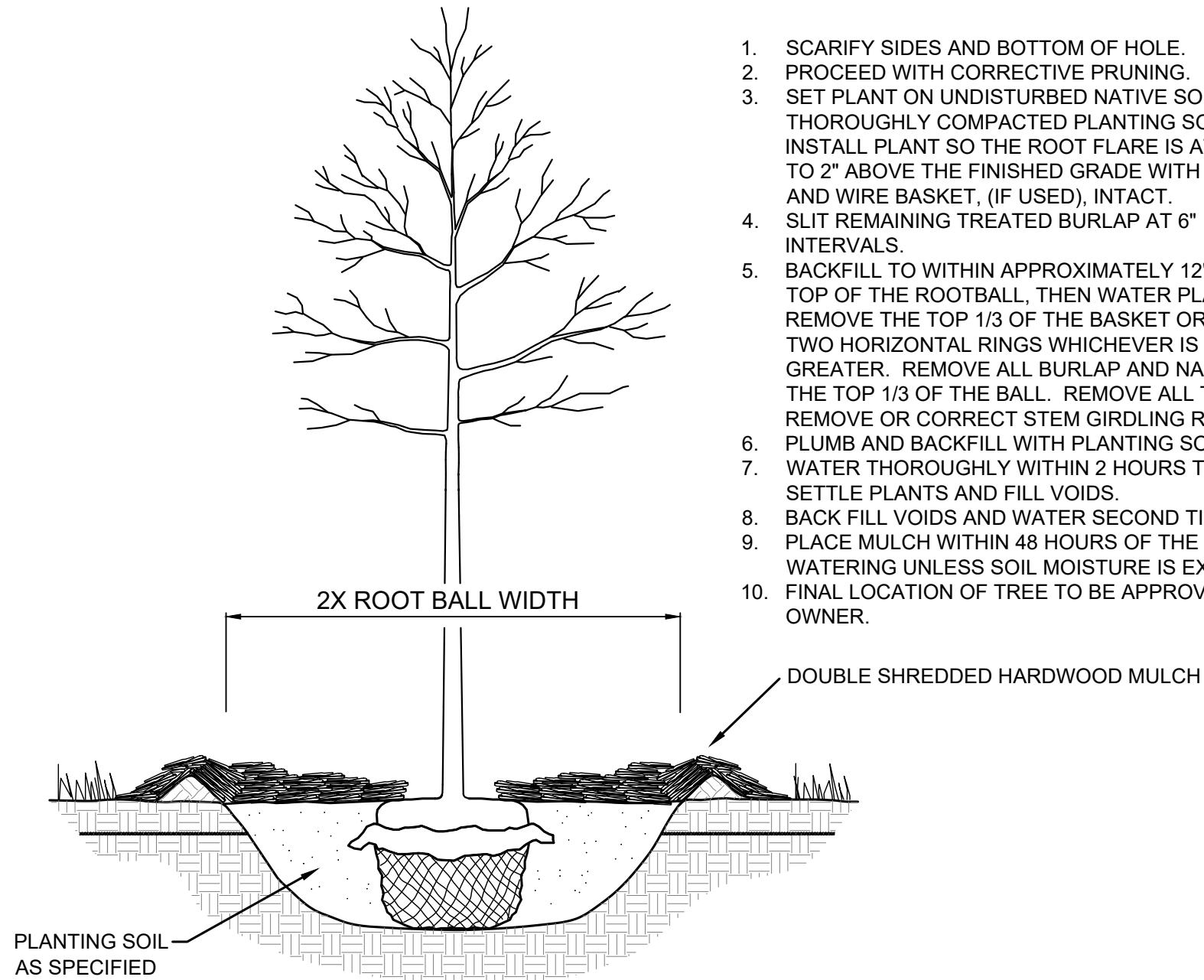
ROSEMOUNT MN

SHEET NUMBER L102

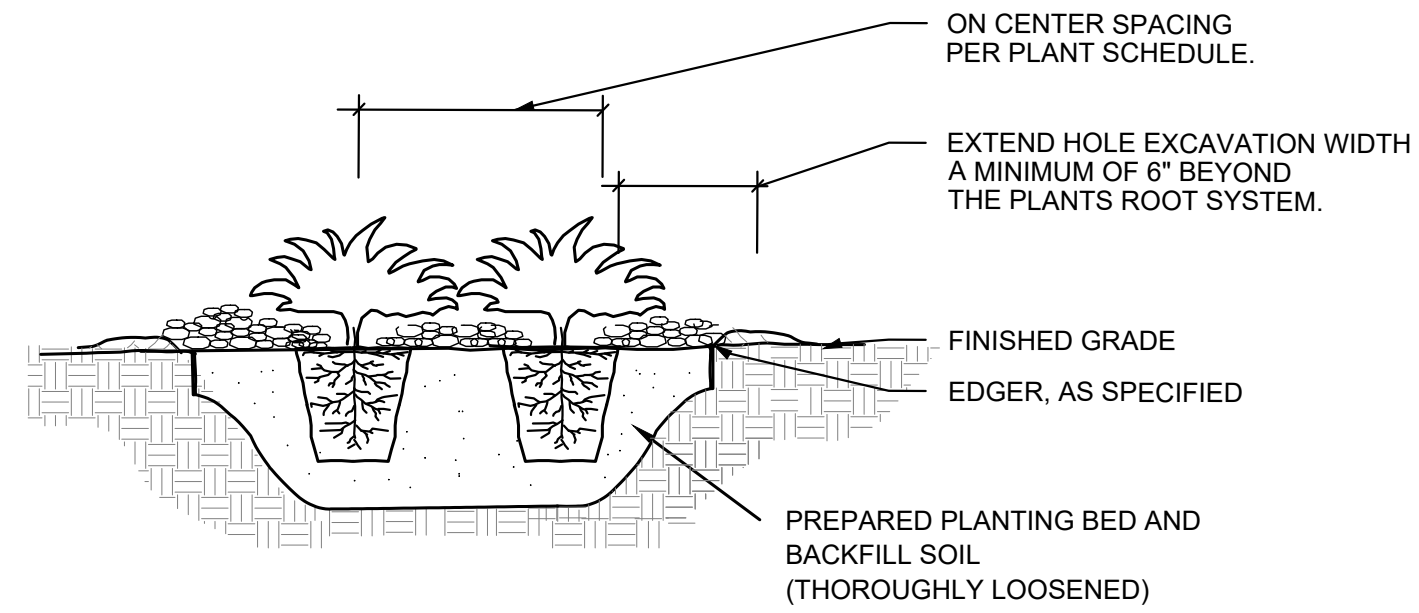


**NOTES:**

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING.
3. SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED PLANTING SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE WITH BURLAP AND WIRE BASKET, (IF USED), INTACT.
4. SLIT REMAINING TREATED BURLAP AT 6" INTERVALS.
5. BACKFILL TO WITHIN APPROXIMATELY 12" OF THE TOP OF THE ROOTBALL, THEN WATER PLANT. REMOVE THE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM THE TOP 1/3 OF THE BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
6. PLUMB AND BACKFILL WITH PLANTING SOIL.
7. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
8. BACK FILL VOIDS AND WATER SECOND TIME.
9. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
10. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



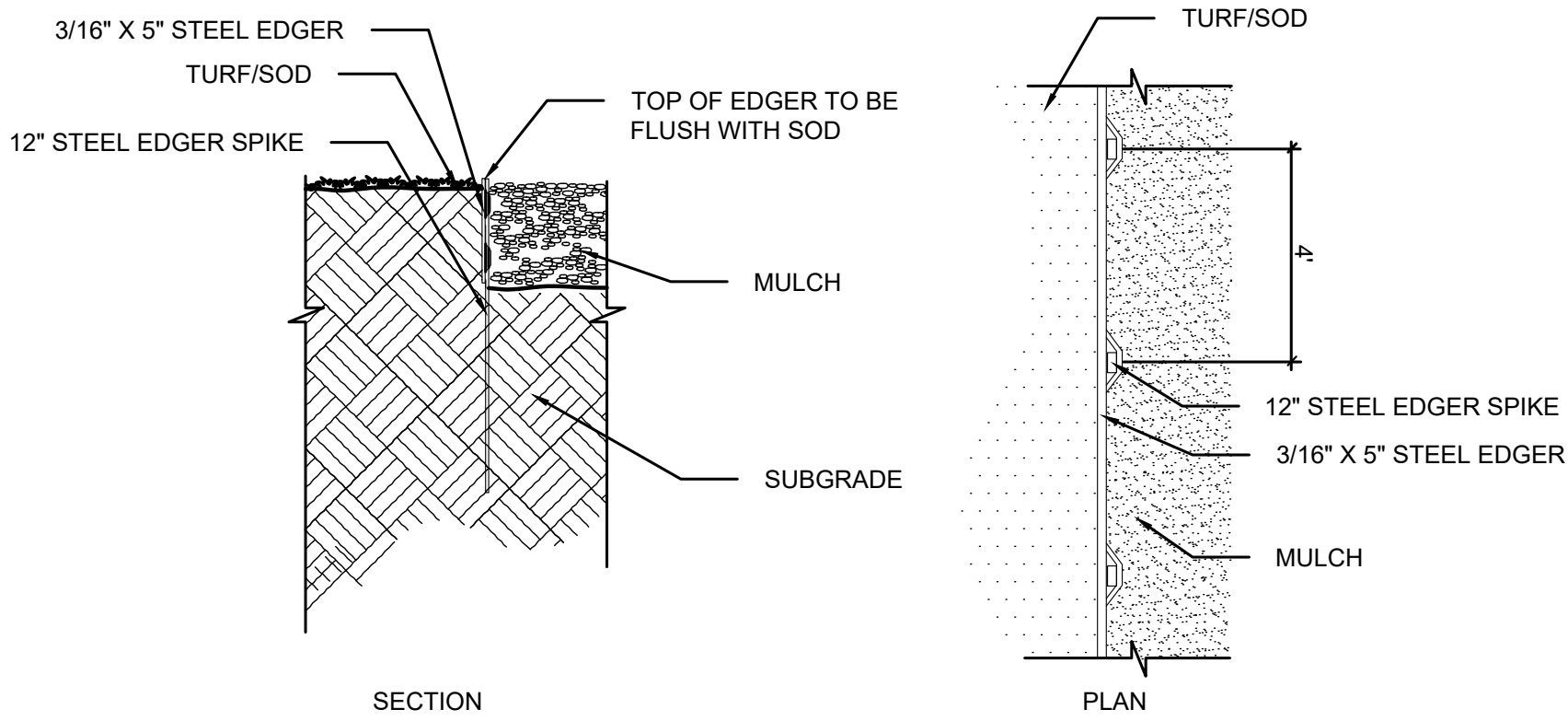
**1** TREE PLANTING DETAIL  
SCALE: N.T.S. L200



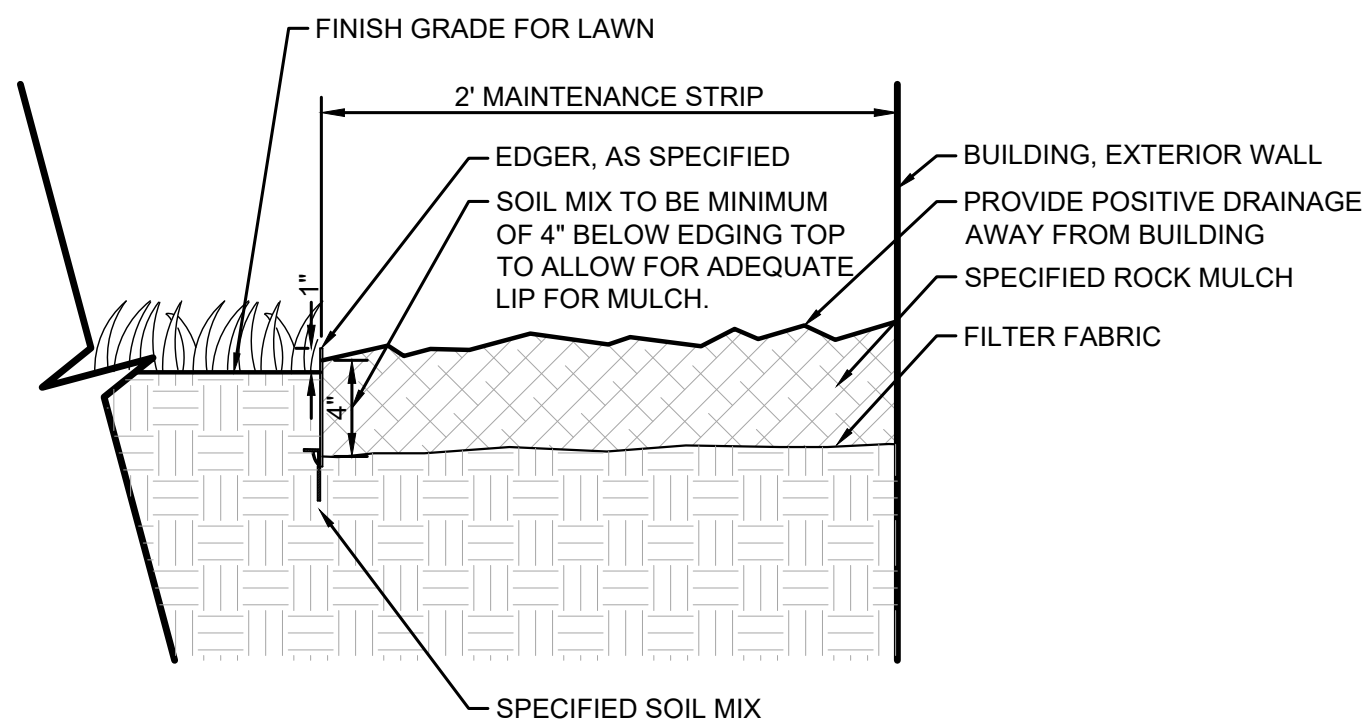
**NOTES:**

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING OF TOP AND ROOT.
3. REMOVE CONTAINER AND SCORE OUTSIDE OF SOIL MASS TO REDIRECT AND PREVENT CIRCLING FIBROUS ROOTS. REMOVE OR CORRECT STEM GIRDLING ROOTS.
4. PLUMB AND BACKFILL WITH PLANTING SOIL.
5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
6. BACK FILL VOIDS AND WATER SECOND TIME.
7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
8. MIX IN 3-4" OF ORGANIC COMPOST.

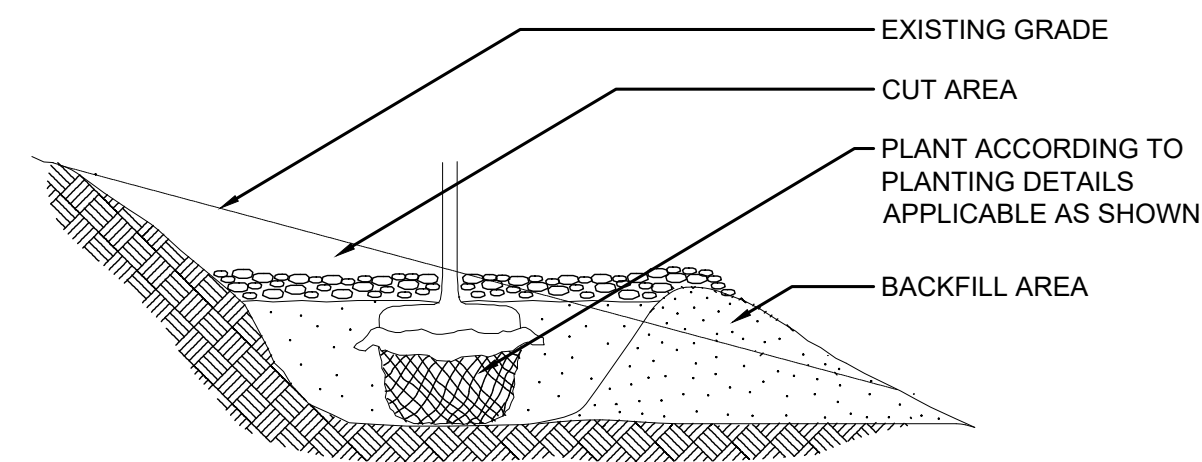
**2** SHRUB / PERENNIAL PLANTING DETAIL  
SCALE: N.T.S. L200



**3** STEEL EDGER DETAIL  
SCALE: N.T.S. L200



**4** MAINTENANCE STRIP DETAIL  
SCALE: 1-1/2"=1' L200



**NOTE:**

1. EXTENDED EXCAVATION AND BACKFILL SOIL TO A POINT DOWNSLOPE EQUAL TO OR LOWER IN ELEVATION THAN THE BOTTOM OF THE HOLE DIRECTLY BENEATH THE PLANT TO INSURE ADEQUATE DRAINAGE IN HEAVY SOILS. GRANULAR SOIL MUST BE ADDED AS BACKFILL IN AREAS OF POOR DRAINAGE.

**5** STEEP SLOPE PLANTING  
SCALE: N.T.S. L200

**LANDSCAPE NOTES**

**PLANTING**

1. CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS: ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC. ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING. CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
9. INSTALL PLANTS BY PLANT INSTALLATION PERIOD INFORMATION IN THE LATEST STANDARD PLANTING DETAILS FROM MNDOT. PLANTINGS BEFORE OR AFTER THESE DATES ARE DONE AT RISK.
10. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
11. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLARE IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLARE. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLARE SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
12. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
13. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
14. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
15. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.

**SOIL**

16. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
17. BACKFILL SOIL AND TOPSOIL TO ADHERE TO MNDOT STANDARD SPECIFICATION 3877 (LOAM TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.

**MULCH**

18. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH. DOUBLE SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH DOUBLE SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL IN COLOR (DYE-FREE), OR APPROVED EQUAL. ROCK MULCH TO BE GRAY DRESSER TRAP ROCK, 1 1/2" DIAMETER, AT MINIMUM 4" DEPTH, OR APPROVED EQUAL. APPLY PRE-EMERGENT HERBICIDE PRIOR TO MULCH PLACEMENT PER MANUFACTURER RECOMMENDATIONS. USE PREEN OR PRE-APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).

**EDGER**

19. EDGING TO BE COMMERCIAL GRADE COL-MET (OR EQUAL) STEEL EDGING; 3/16" THICK x 5" TALL, COLOR BLACK, OR SPADED EDGE, AS INDICATED. STEEL EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH TOP OF EDGER AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. WHERE EDGING TERMINATES AT A SIDEWALK, BEVEL OR RECESS ENDS TO PREVENT TRIP HAZARD. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).

**SEED/SOD**

20. ALL DISTURBED AREAS TO BE SEEDED, UNLESS OTHERWISE NOTED. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED, PER MNDOT SPECIFICATIONS AND SUPPLIER/MANUFACTURER RECOMMENDATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.

**ESTABLISHMENT**

21. PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
22. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.

**WARRANTY**

23. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
24. MAINTAIN TREES, SHRUBS, SEED AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD; 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, SEED AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH. MAINTAIN LAWNS FOR 60 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECESSES 4" IN HEIGHT. WEED PLANTING BEDS AND MULCH SAUCERS AT MINIMUM ONCE A MONTH DURING THE GROWING SEASON. PROVIDE A MONTHLY REPORT TO THE OWNER ON WEEDING AND OTHER MAINTENANCE RESPONSIBILITIES.

**Kimley»Horn**

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767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-454-4197  
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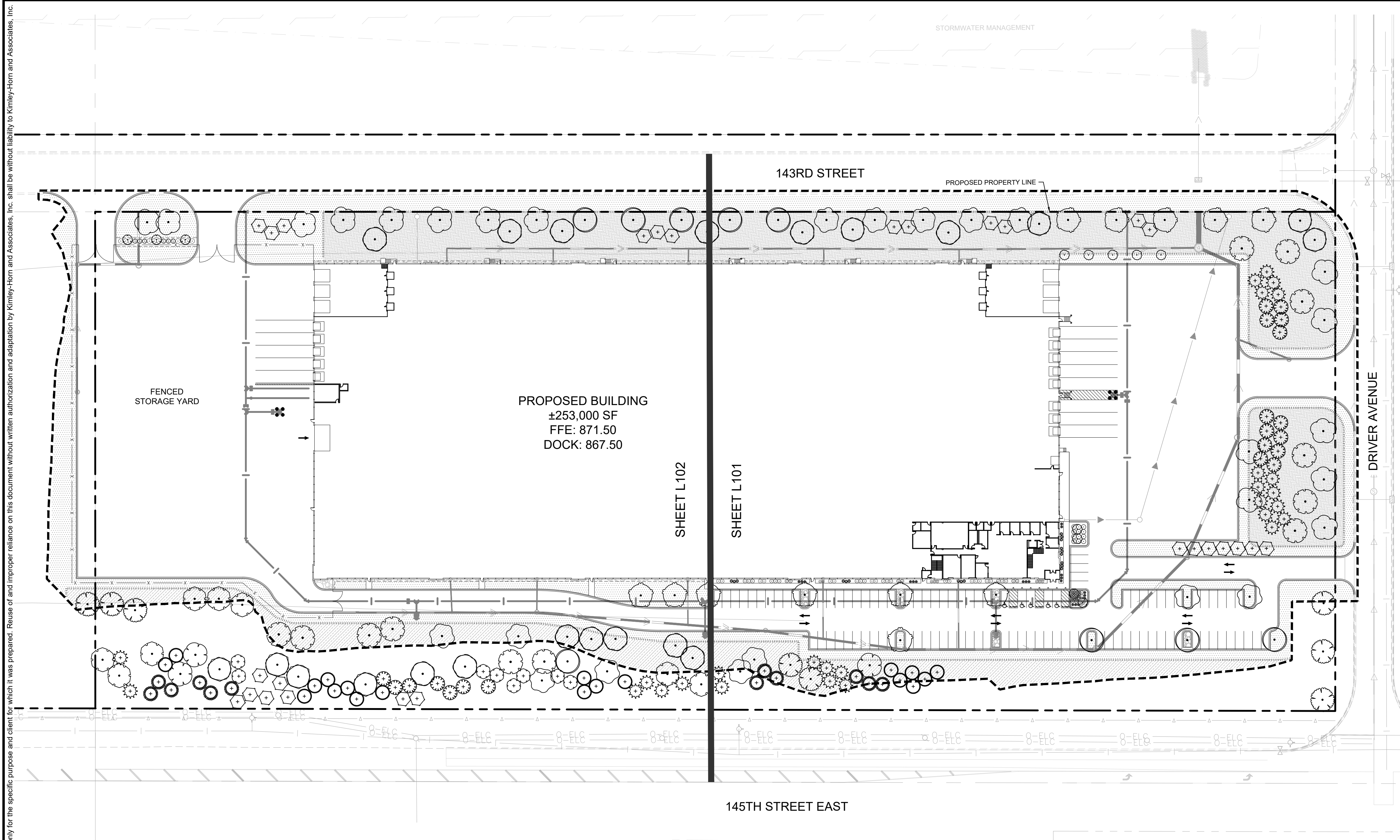
**LANDSCAPE  
DETAILS**

ROSEMOUNT  
GOODIN  
PREPARED FOR  
SCANNELL  
PROPERTIES

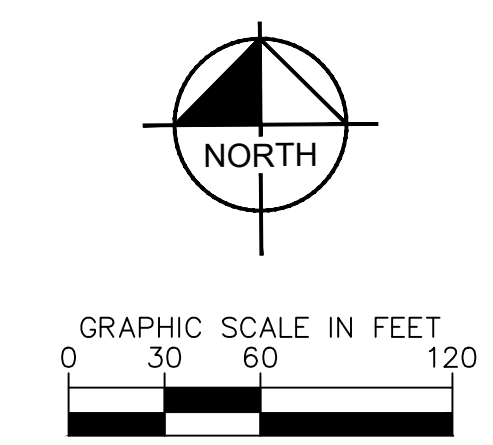
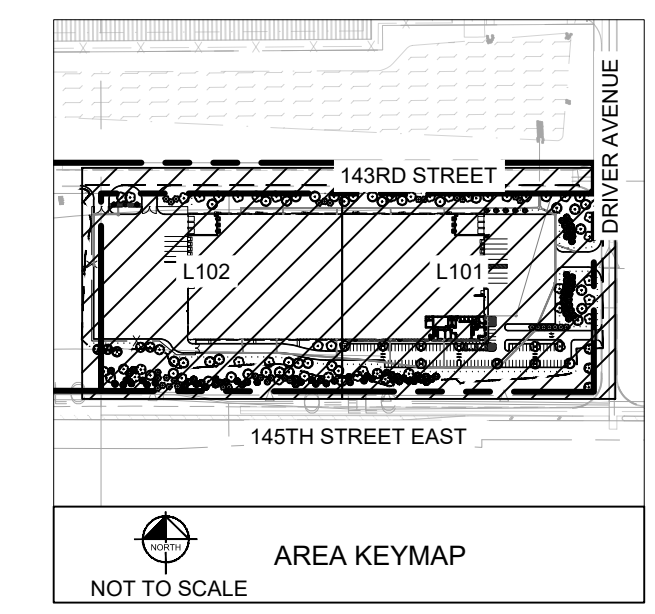
SHEET NUMBER  
**L200**

PRELIMINARY - NOT FOR CONSTRUCTION





LANDSCAPE SUMMARY	
<b>GENERAL LANDSCAPE REQUIREMENTS</b>	
TREES REQUIRED:	226 TREES = 677,000 S.F. OF LAND AREA / 3,000
TREES PROVIDED:	226 TREES
FOUNDATION PLANTING REQUIRED:	221 L.F. = 2,206 L.F. OF BUILDING PERIMETER / 10 L.F.
FOUNDATION PLANTING PROVIDED:	400 L.F.
<b>NOTE:</b>	
1. SPACING BETWEEN THE TREES SHALL BE A MAXIMUM OF 50L.F. ALONG THE PERIMETER OF THE SITE ADJACENT TO ANY ROADWAY.	
2. AT LEAST 50% OF TOTAL NUMBER OF REQUIRED OVERSTORY TREES SHALL BE DECIDUOUS.	
3. ALL TREES PLANTED ALONG THE SITE PERIMETER ADJACENT TO A ROADWAY SHALL BE OF SHADE OR FLOWERING TREE TYPE.	
4. ALL LANDSCAPE AREAS SHALL BE IRRIGATED	
<b>PARKING LOT LANDSCAPING</b>	
SCREENING REQUIRED:	ALL PARKING AREAS SHALL BE SCREENED AND LANDSCAPED SUBJECT TO PLANNING COMMISSION REVIEW SEE PLAN
SCREENING PROVIDED:	
INTERIOR LANDSCAPE AREA REQUIRED:	1,810 S.F. = 36,194 S.F. OF PARKING AREA * .05
INTERIOR LANDSCAPE AREA PROVIDED:	2,950 S.F.
MINIMUM ISLAND DIMENSIONS REQUIRED:	ISLANDS SHALL BE AT LEAST 8.5L.F. WIDE WITH AN AREA OF 324 S.F.
MINIMUM ISLAND DIMENSIONS PROVIDED:	9 L.F.
TREES REQUIRED:	11 TREES = 103 SPACES / 10
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	2026 KIMLEY-HORN AND ASSOCIATES, INC. 787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-454-1197 WWW.KIMLEY-HORN.COM	KHA PROJECT 16086047	DATE 04/08/2026	SCALE AS SHOWN	DESIGNED BY CFK	DRAWN BY ATK	CHECKED BY CFK
		<b>OVERALL LANDSCAPE PLAN</b>					
ROSEMOUNT GOODIN PREPARED FOR SCANNELL PROPERTIES ROSEMOUNT MN		ISSUED FOR CONSTRUCTION					
SHEET NUMBER <b>L100</b>		REVISIONS No. DATE BY					



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**LANDSCAPE LEGEND**

- EDGER (TYP.)
- APPROXIMATE LIMITS OF SEEDING, SEED ALL DISTURBED AREAS (TYP.)
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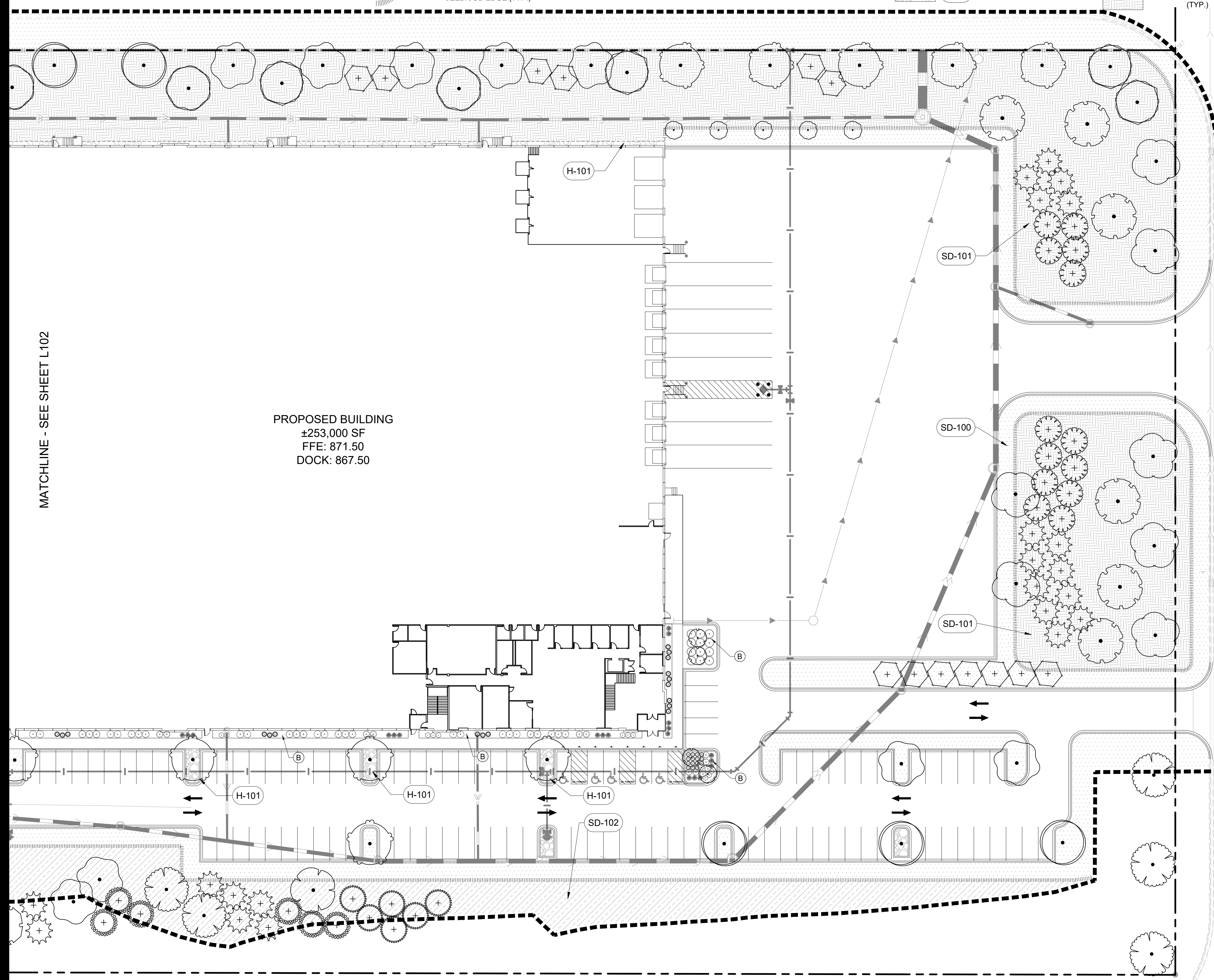
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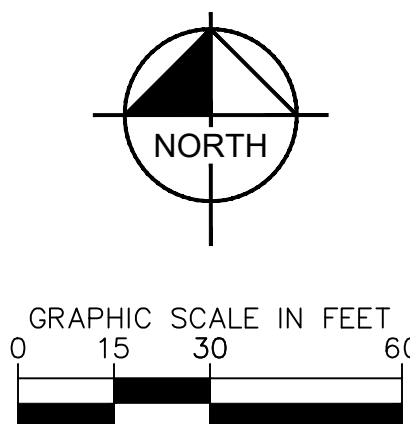
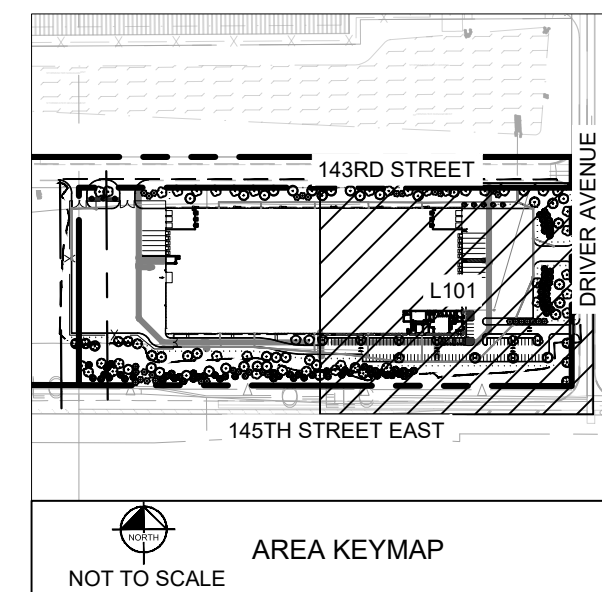
MATCHLINE - SEE SHEET L102

PROPOSED BUILDING  
±253,000 SF  
FFE: 871.50  
DOCK: 867.50



**PLANT KEY**

SYMBOL	COMMON NAME
	ST CROIX™ ELM
	BLACK HILLS SPRUCE
	BLACK SPRUCE
	EASTERN RED CEDAR
	JACK PINE
	RED PINE
	WHITE PINE
	SKYLINE® HONEY LOCUST
	SENTRY® LINDEN
	SWAMP WHITE OAK
	DARK GREEN YEW
	DWARF MUGO PINE
	SEA GREEN JUNIPER
	DWARF BUSH HONEYSUCKLE
	DAKOTA SUNSPOT® BUSH CINQUEFOIL
	GRO-LOW FRAGRANT SUMAC
	CORAL KNOCK OUT® ROSE
	LITTLE DEVIL™ NINEBARK
	PURPLE LEAF SAND CHERRY
	SEM FALSE SPIRAEA
	SHOW OFF® FORSYTHIA
	PURPLE FLAME GRASS
	KARL FOERSTER GRASS



NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
2026 KIMLEY-HORN AND ASSOCIATES, INC.  
787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-452-4197  
WWW.KIMLEY-HORN.COM

PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
KHA PROJECT 160946047	04/08/2026	AS SHOWN	CFK	ATK	CFK

**LANDSCAPE PLAN**

**ROSEMOUNT GOODIN**  
PREPARED FOR  
**SCANNELL PROPERTIES**  
ROSEMOUNT MN

ISSUED FOR CONSTRUCTION

SHEET NUMBER  
**L101**

K:\TWC\_LDEV\Scannell\Rosemount - Goodin\3 Design\CAD\PlanSheets\L-LANDSCAPE PLAN.DWG April 23, 2026 - 1:35pm  
 This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

**LANDSCAPE LEGEND**

- EDGER (TYP.)
- APPROXIMATE LIMITS OF SEEDING, SEED ALL DISTURBED AREAS (TYP.)
- SEED/SOD EDGE (TYP.)

**LANDSCAPE KEYNOTES**

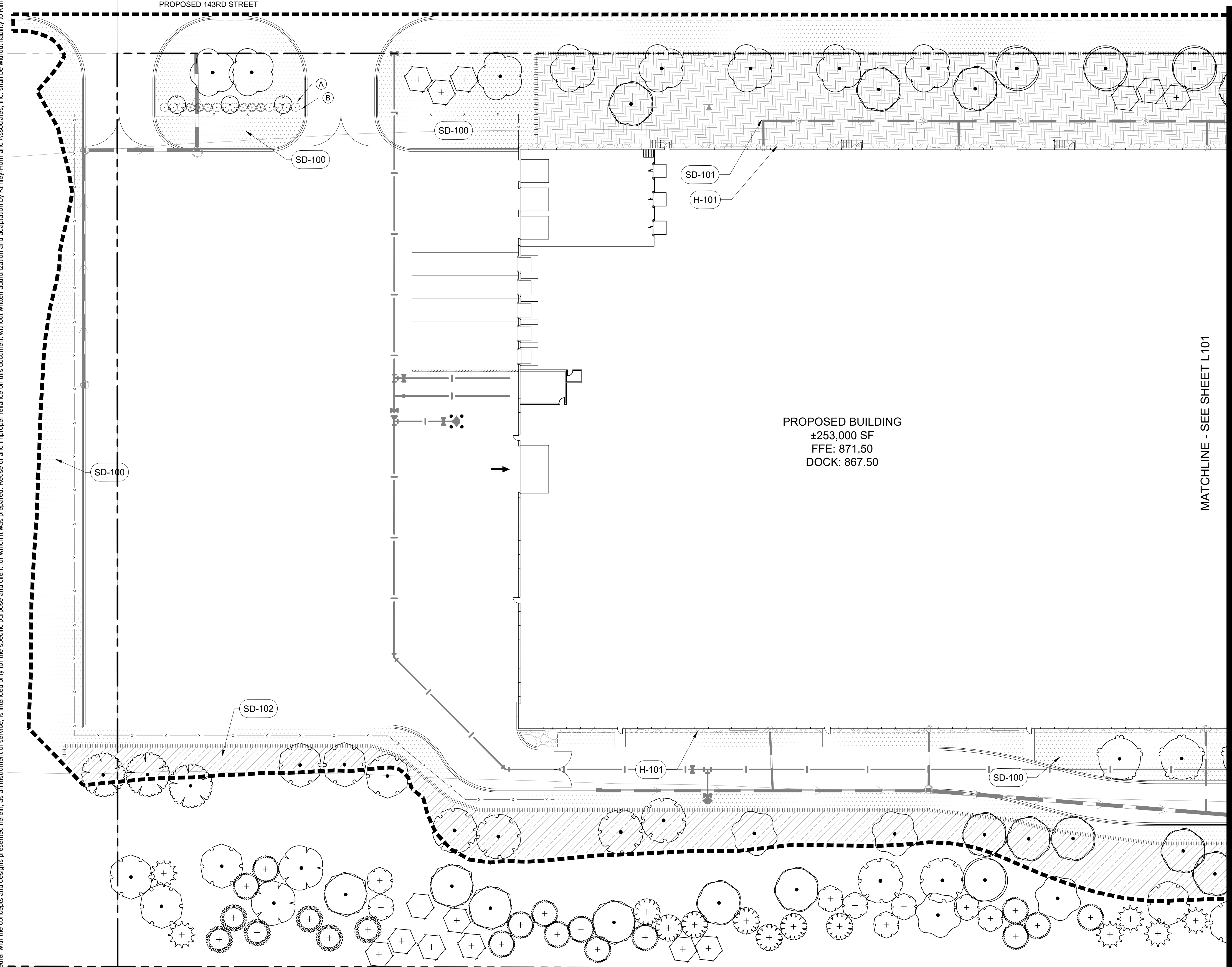
- (A) EDGER (TYP.)
- (B) DOUBLE SHREDDED HARDWOOD MULCH (TYP.)

**REFERENCE NOTES SCHEDULE**

SYMBOL	CODE	DESCRIPTION
	H-101	GRAY DRESSER TRAP ROCK MULCH

**SEED**

	SD-100	SEED WITH MNDOT SOUTHERN BOULEVARD (SB) SEED MIX (TYP.)
	SD-101	SEED WITH MNDOT SOUTHERN SHORTGRASS ROADSIDE (SSR) SEED MIX (TYP.)
	SD-102	SEED WITH MNDOT SOUTHERN TALLGRASS ROADSIDE (STR) SEED MIX (TYP.)

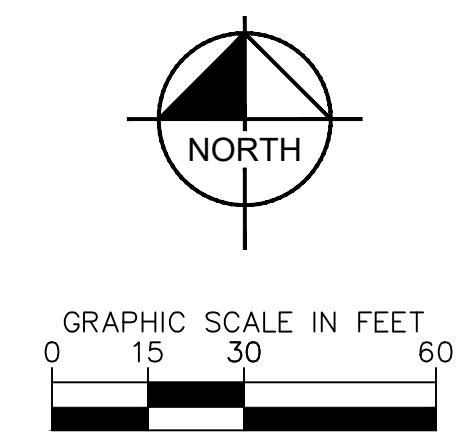
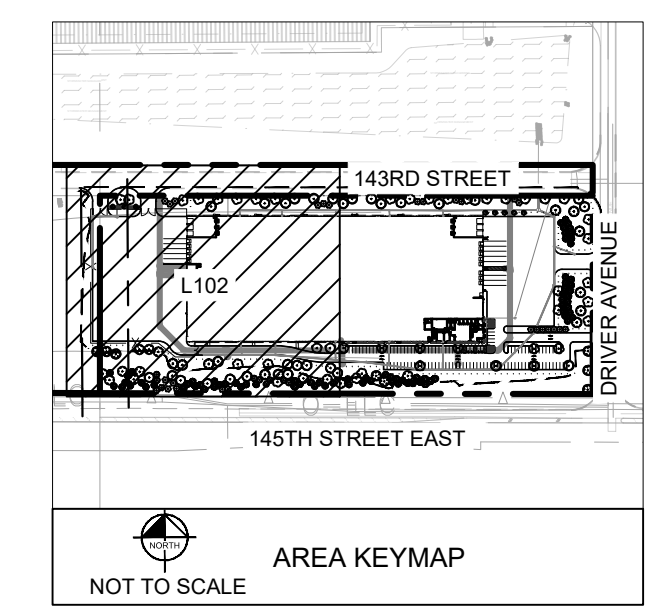


PROPOSED BUILDING  
 ±253,000 SF  
 FFE: 871.50  
 DOCK: 867.50

MATCHLINE - SEE SHEET L101

**PLANT KEY**

SYMBOL	COMMON NAME	SYMBOL	COMMON NAME
	ST CROIX™ ELM		DWARF BUSH HONEYSUCKLE
	BLACK HILLS SPRUCE		DAKOTA SUNSPOT® BUSH CINQUEFOIL
	BLACK SPRUCE		GRO-LOW FRAGRANT SUMAC
	EASTERN RED CEDAR		CORAL KNOCK OUT® ROSE
	JACK PINE		LITTLE DEVIL™ NINEBARK
	RED PINE		PURPLE LEAF SAND CHERRY
	WHITE PINE		SEM FALSE SPIRAEA
	SEA GREEN JUNIPER		SHOW OFF® FORSYTHIA
	BRANDYWINE RED MAPLE		PURPLE FLAME GRASS
	BUR OAK		KARL FOERSTER GRASS
	CRIMSON SENTRY MAPLE		
	CRIMSON SPIRE OAK		
	FALL FIESTA SUGAR MAPLE		
	MATADOR™ MAPLE		
	NORTHERN RED OAK		
	SHAGBARK HICKORY		



NO.	REVISIONS	DATE	BY

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KHA PROJECT	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
160946047	04/08/2026	AS SHOWN	ATK	CFK

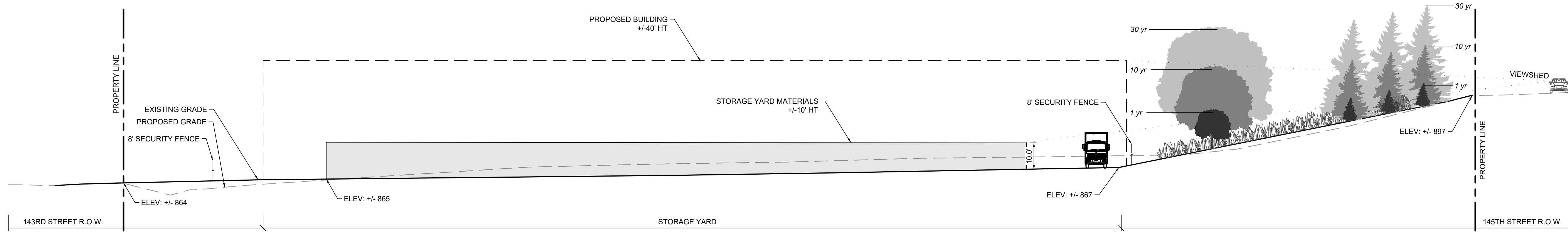
**LANDSCAPE PLAN**

ISSUED FOR CONSTRUCTION

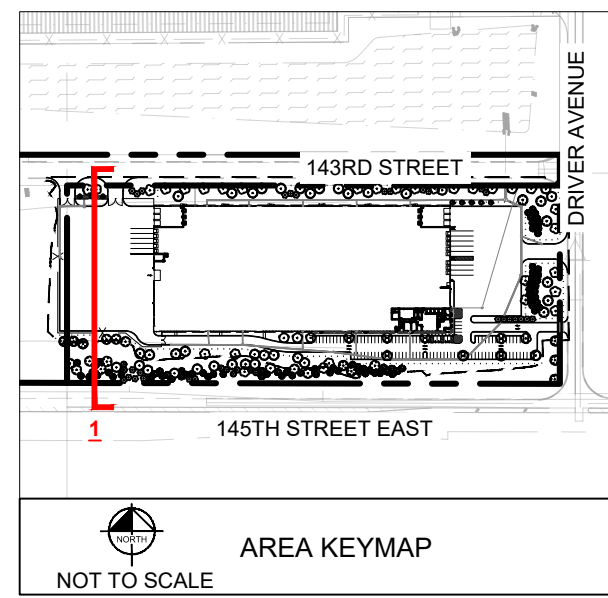
**ROSEMOUNT GOODIN**  
 PREPARED FOR  
**SCANNELL PROPERTIES**

ROSEMOUNT MN

SHEET NUMBER  
**L102**



**1** SECTION 1  
SCALE: 1"=20'



ISSUED FOR CONSTRUCTION

ROSEMOUNT  
GOODIN  
PREPARED FOR  
SCANNELL  
PROPERTIES

SHEET NUMBER  
**L103**

**STORAGE YARD  
SECTION**

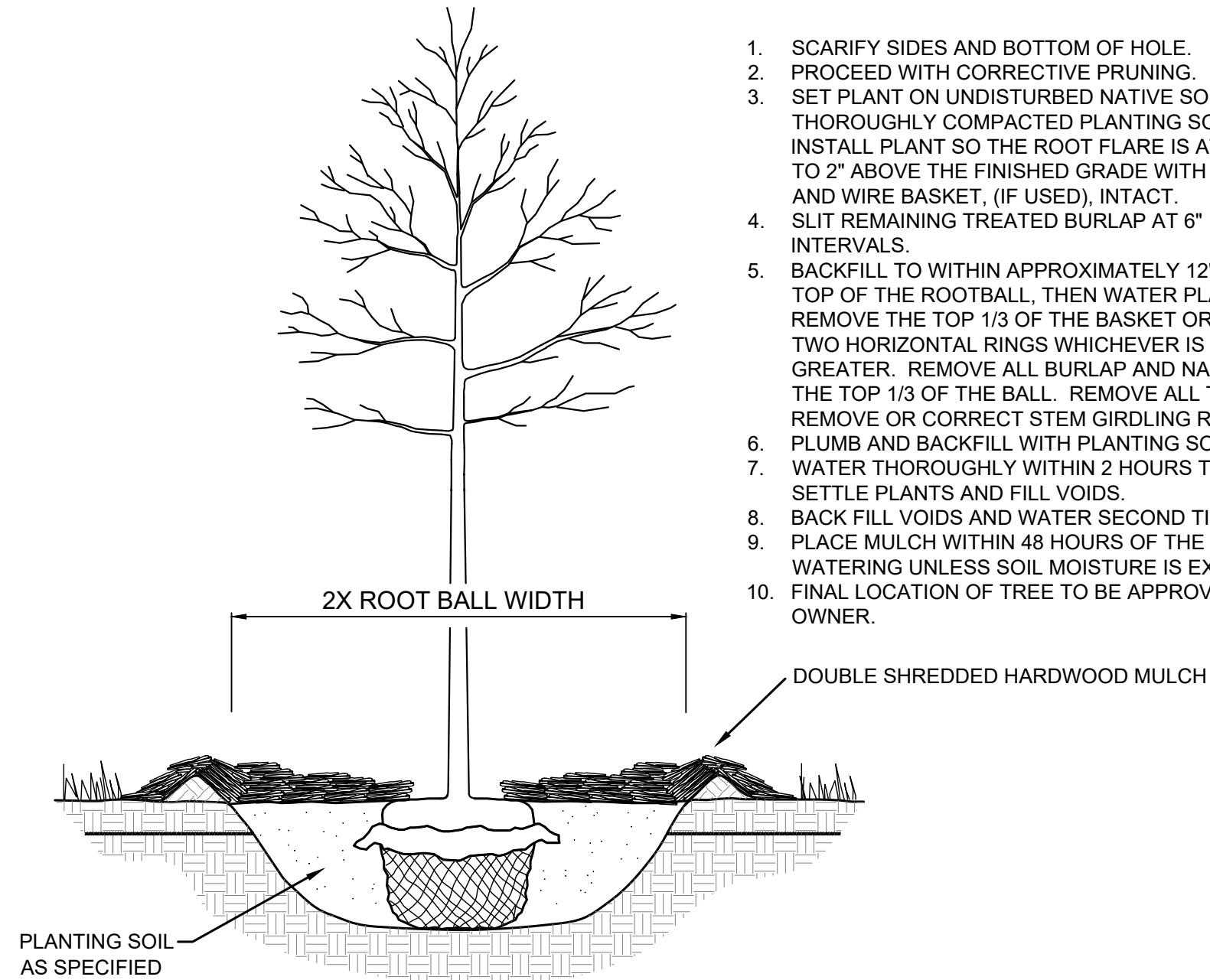
KHA PROJECT	160846047
DATE	04/08/2026
SCALE	AS SHOWN
DESIGNED BY	CFK
DRAWN BY	CFK
CHECKED BY	CFK

**Kimley»Horn**  
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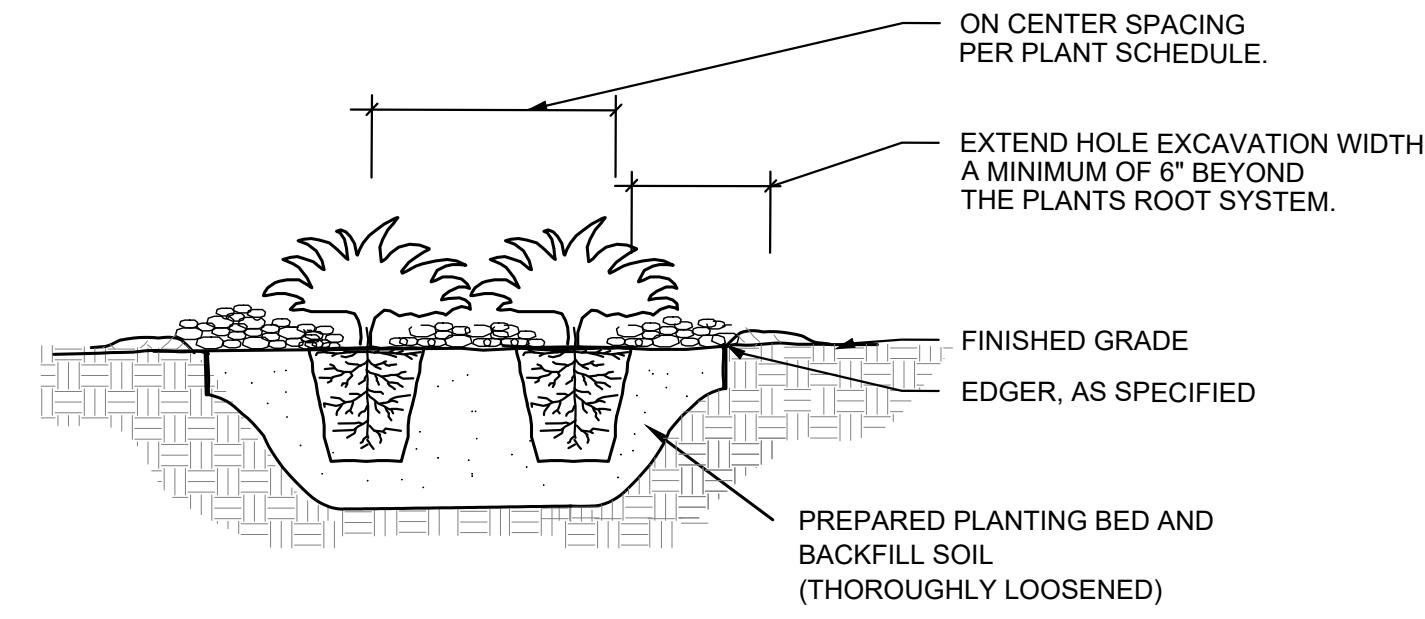
No.	REVISIONS	DATE	BY

**NOTES:**

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING.
3. SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED PLANTING SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE WITH BURLAP AND WIRE BASKET, (IF USED), INTACT.
4. SLIT REMAINING TREATED BURLAP AT 6" INTERVALS.
5. BACKFILL TO WITHIN APPROXIMATELY 12" OF THE TOP OF THE ROOTBALL, THEN WATER PLANT. REMOVE THE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM THE TOP 1/3 OF THE BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
6. PLUMB AND BACKFILL WITH PLANTING SOIL.
7. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
8. BACK FILL VOIDS AND WATER SECOND TIME.
9. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
10. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



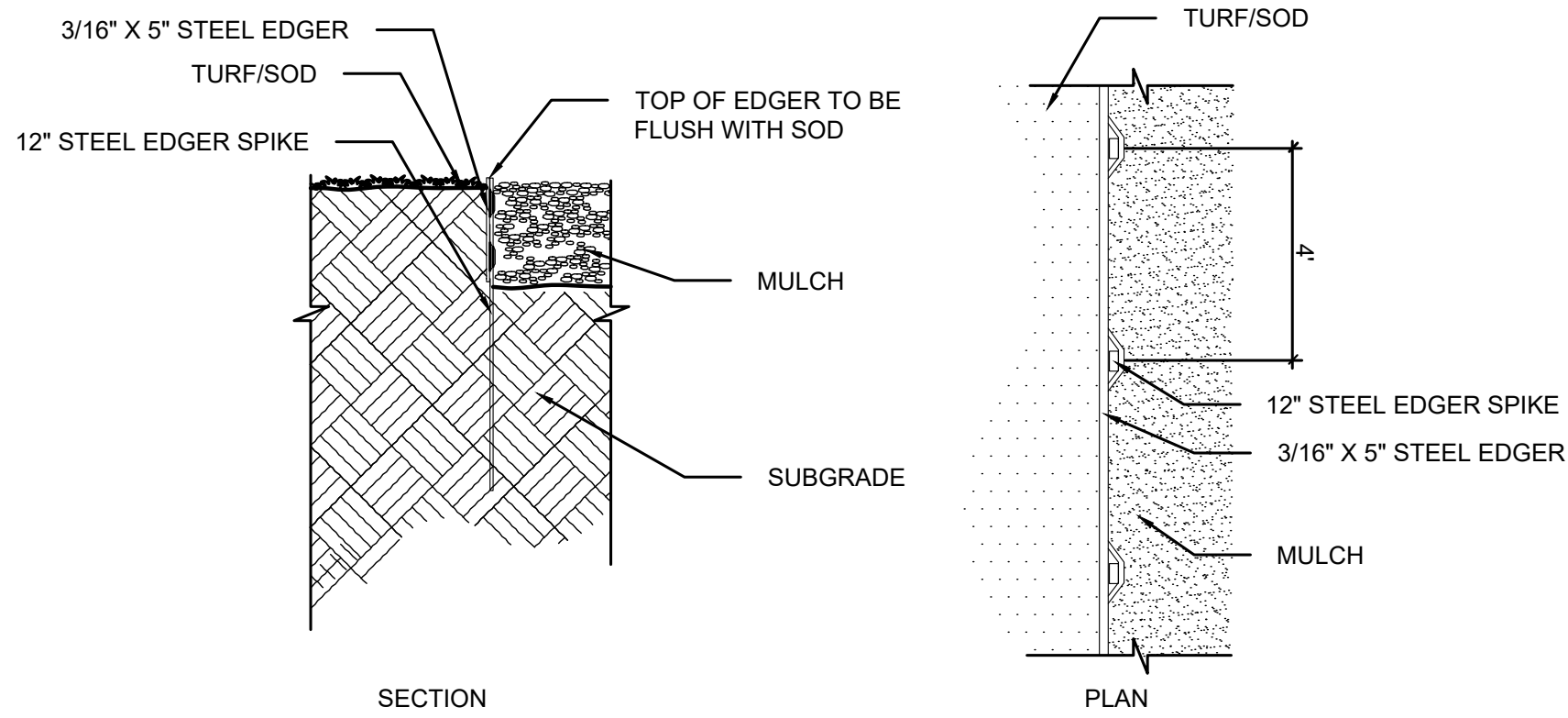
**1** TREE PLANTING DETAIL  
SCALE: N.T.S. L200



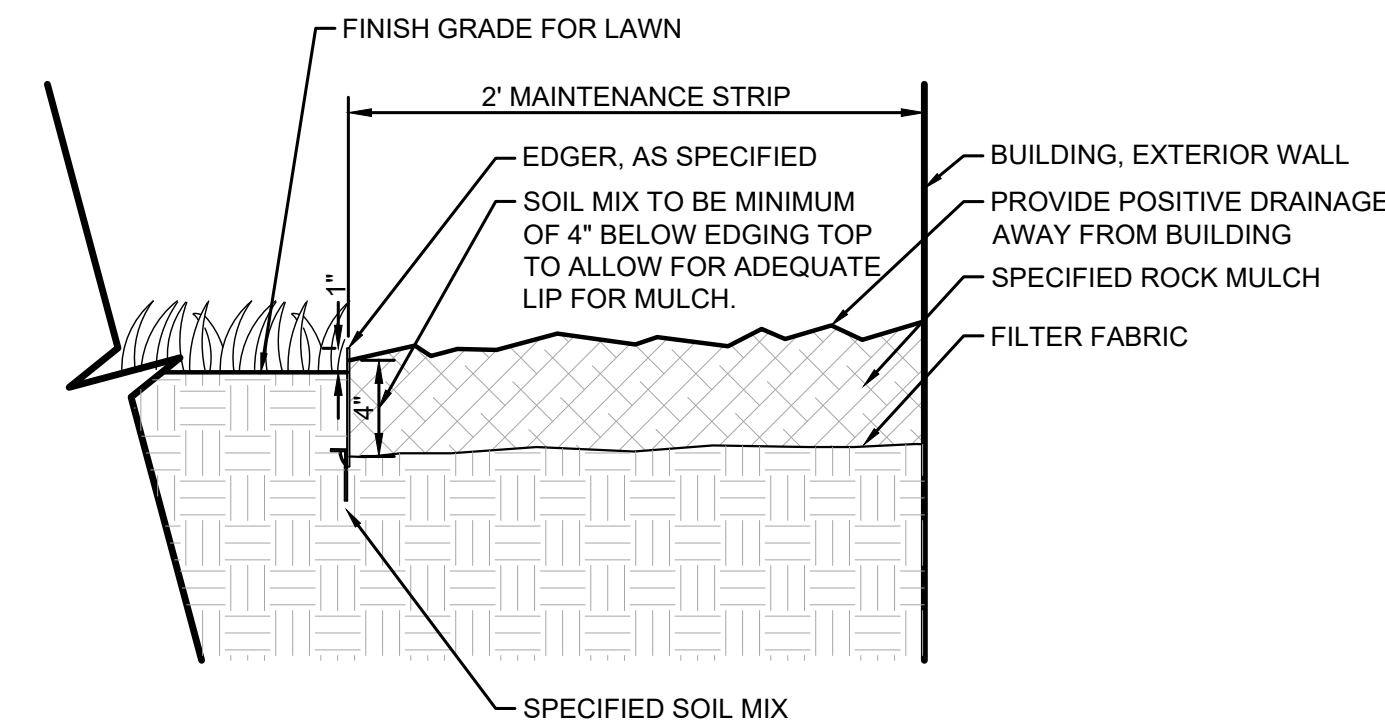
**NOTES:**

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING OF TOP AND ROOT.
3. REMOVE CONTAINER AND SCORE OUTSIDE OF SOIL MASS TO REDIRECT AND PREVENT CIRCLING FIBROUS ROOTS. REMOVE OR CORRECT STEM GIRDLING ROOTS.
4. PLUMB AND BACKFILL WITH PLANTING SOIL.
5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
6. BACK FILL VOIDS AND WATER SECOND TIME.
7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
8. MIX IN 3-4" OF ORGANIC COMPOST.

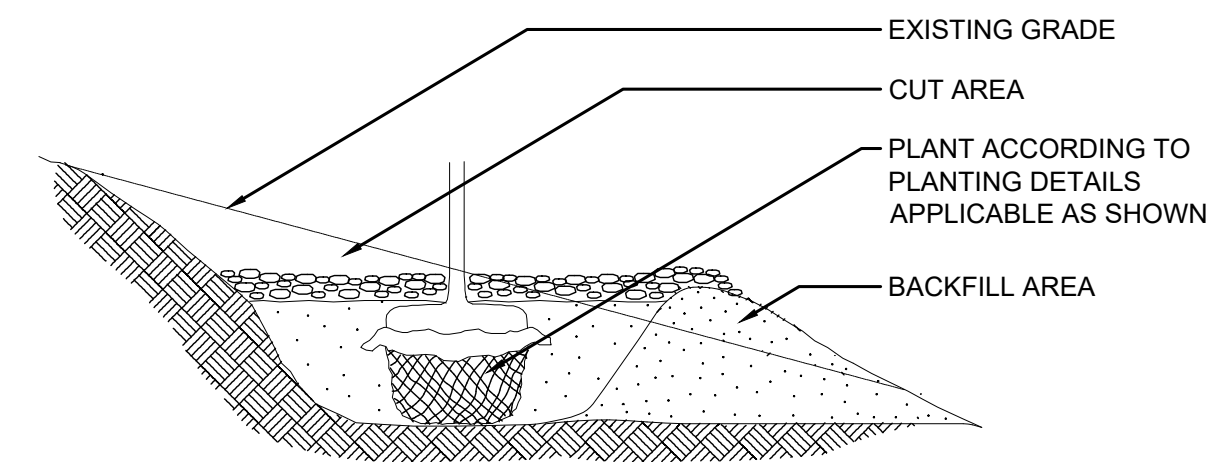
**2** SHRUB / PERENNIAL PLANTING DETAIL  
SCALE: N.T.S. L200



**3** STEEL EDGER DETAIL  
SCALE: N.T.S. L200



**4** MAINTENANCE STRIP DETAIL  
SCALE: 1-1/2\"/>



**NOTE:**

1. EXTENDED EXCAVATION AND BACKFILL SOIL TO A POINT DOWNSLOPE EQUAL TO OR LOWER IN ELEVATION THAN THE BOTTOM OF THE HOLE DIRECTLY BENEATH THE PLANT TO INSURE ADEQUATE DRAINAGE IN HEAVY SOILS. GRANULAR SOIL MUST BE ADDED AS BACKFILL IN AREAS OF POOR DRAINAGE.

**5** STEEP SLOPE PLANTING  
SCALE: N.T.S. L200

**LANDSCAPE NOTES**

**PLANTING**

1. CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:  
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.  
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.  
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.  
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.  
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
9. INSTALL PLANTS BY PLANT INSTALLATION PERIOD INFORMATION IN THE LATEST STANDARD PLANTING DETAILS FROM MNDOT. PLANTINGS BEFORE OR AFTER THESE DATES ARE DONE AT RISK.
10. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
11. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLARE IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLARE. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLARE SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
12. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
13. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
14. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
15. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.

**SOIL**

16. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
17. BACKFILL SOIL AND TOPSOIL TO ADHERE TO MNDOT STANDARD SPECIFICATION 3877 (LOAM TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.

**MULCH**

18. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH. DOUBLE SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH DOUBLE SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL IN COLOR (DYE-FREE), OR APPROVED EQUAL. ROCK MULCH TO BE GRAY DRESSER TRAP ROCK, 1 1/2" DIAMETER, AT MINIMUM 4" DEPTH, OR APPROVED EQUAL. APPLY PRE-EMERGENT HERBICIDE PRIOR TO MULCH PLACEMENT PER MANUFACTURER RECOMMENDATIONS. USE PREEN OR PRE-APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).

**EDGER**

19. EDGING TO BE COMMERCIAL GRADE COL-MET (OR EQUAL) STEEL EDGING; 3/16" THICK x 5" TALL, COLOR BLACK, OR SPADED EDGE, AS INDICATED. STEEL EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH TOP OF EDGER AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. WHERE EDGING TERMINATES AT A SIDEWALK, BEVEL OR RECESS ENDS TO PREVENT TRIP HAZARD. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).

**SEED/SOD**

20. ALL DISTURBED AREAS TO BE SEEDED, UNLESS OTHERWISE NOTED. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED, PER MNDOT SPECIFICATIONS AND SUPPLIER/MANUFACTURER RECOMMENDATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.

**ESTABLISHMENT**

21. PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
22. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.

**WARRANTY**

23. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
24. MAINTAIN TREES, SHRUBS, SEED AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD; 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, SEED AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH. MAINTAIN LAWNS FOR 60 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECESSES 4" IN HEIGHT. WEED PLANTING BEDS AND MULCH SAUCERS AT MINIMUM ONCE A MONTH DURING THE GROWING SEASON. PROVIDE A MONTHLY REPORT TO THE OWNER ON WEEDING AND OTHER MAINTENANCE RESPONSIBILITIES.

**Kimley»Horn**

2026 KIMLEY-HORN AND ASSOCIATES, INC.  
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-454-4197  
WWW.KIMLEY-HORN.COM

KHA PROJECT	16096047
DATE	04/08/2026
SCALE	AS SHOWN
DESIGNED BY	CFK
DRAWN BY	ATK
CHECKED BY	CFK

**LANDSCAPE DETAILS**

ROSEMOUNT  
GOODIN  
PREPARED FOR  
SCANNELL  
PROPERTIES

SHEET NUMBER  
**L200**

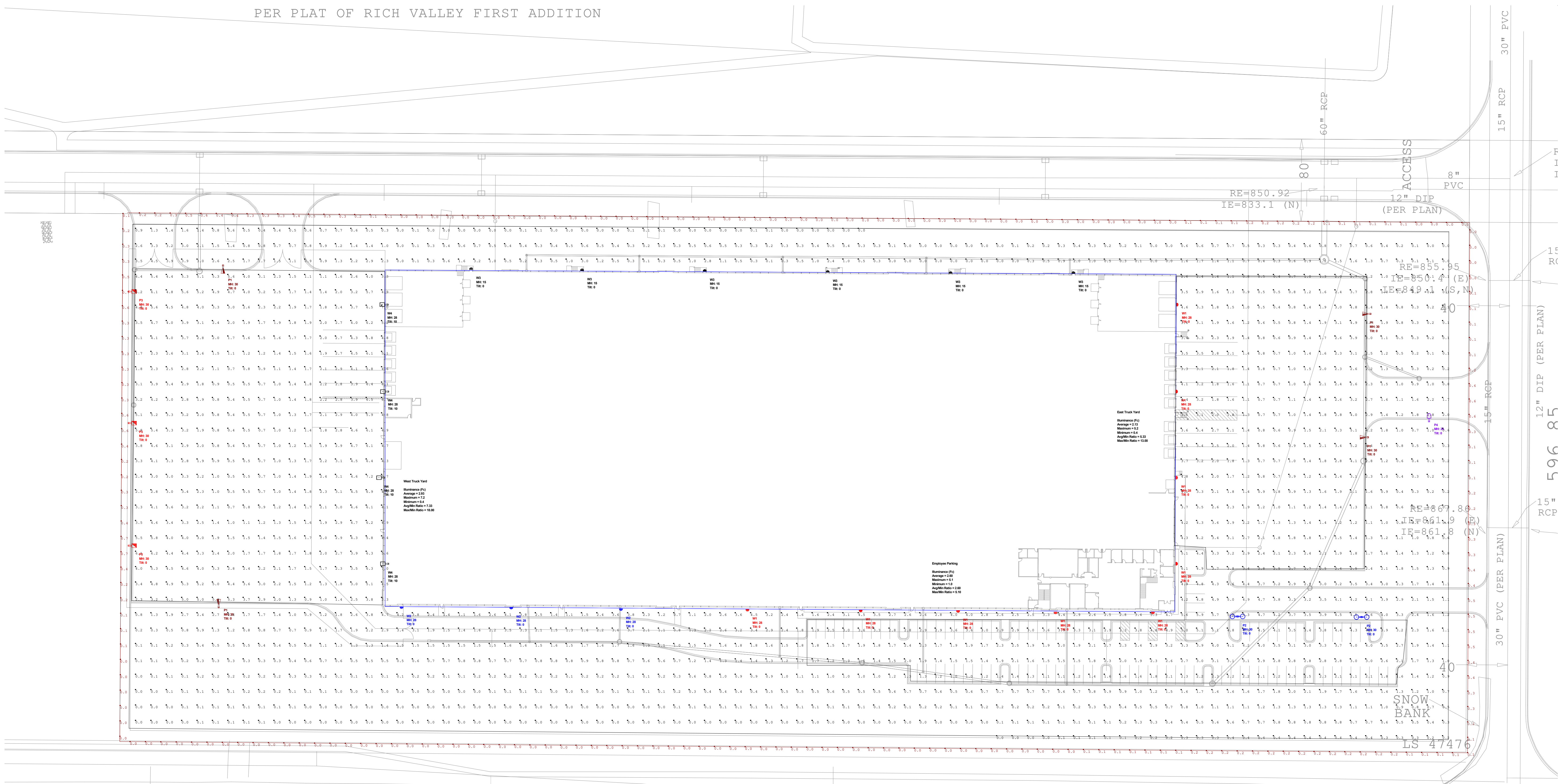
ISSUED FOR CONSTRUCTION



Symbol	Qty	Type	Mounting Height	Lum. Watts	Luminaire Lumens	LLF	Description	[MANUFAC]
	4	P1	30	265	33125	0.900	NV-2-T4-128L-7-50K	NLS Lighting
	2	P2	30	274	39014	0.900	NV-2-T5W 128L-7-50K7	NLS LIGHTING
	3	P3	30	409	32950	0.900	NV-2-T4-128L-1-50K7-HSS	NLS LIGHTING
	1	P4	28	71	8875	0.900	NV-1-T3-32L-7-50K-UNV	NLS Lighting, LLC
	9	W1	28	205	22951	0.900	NV-W2-T4-64L-1-50K7	NLS LIGHTING
	3	W2	28	136	16006	0.900	NV-W2-T3-64L-7-50K7	NLS Lighting
	6	W3	15	29	3793	0.900	NV-W-T3-16L-53-50K	NLS Lighting LLC
	4	W4	28	366	43188	0.900	NV-2-T4-112L-1-50K-TM Trunnion Mount	NLS Lighting

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Overall Site	Fc	1.73	7.2	0.0	N.A.	N.A.
Property Line	Fc	0.13	0.7	0.0	N.A.	N.A.
East Truck Yard	Fc	2.13	5.2	0.4	5.33	13.00
Employee Parking	Fc	2.60	5.1	1.0	2.60	5.10
West Truck Yard	Fc	2.93	7.2	0.4	7.33	18.00

PER PLAT OF RICH VALLEY FIRST ADDITION



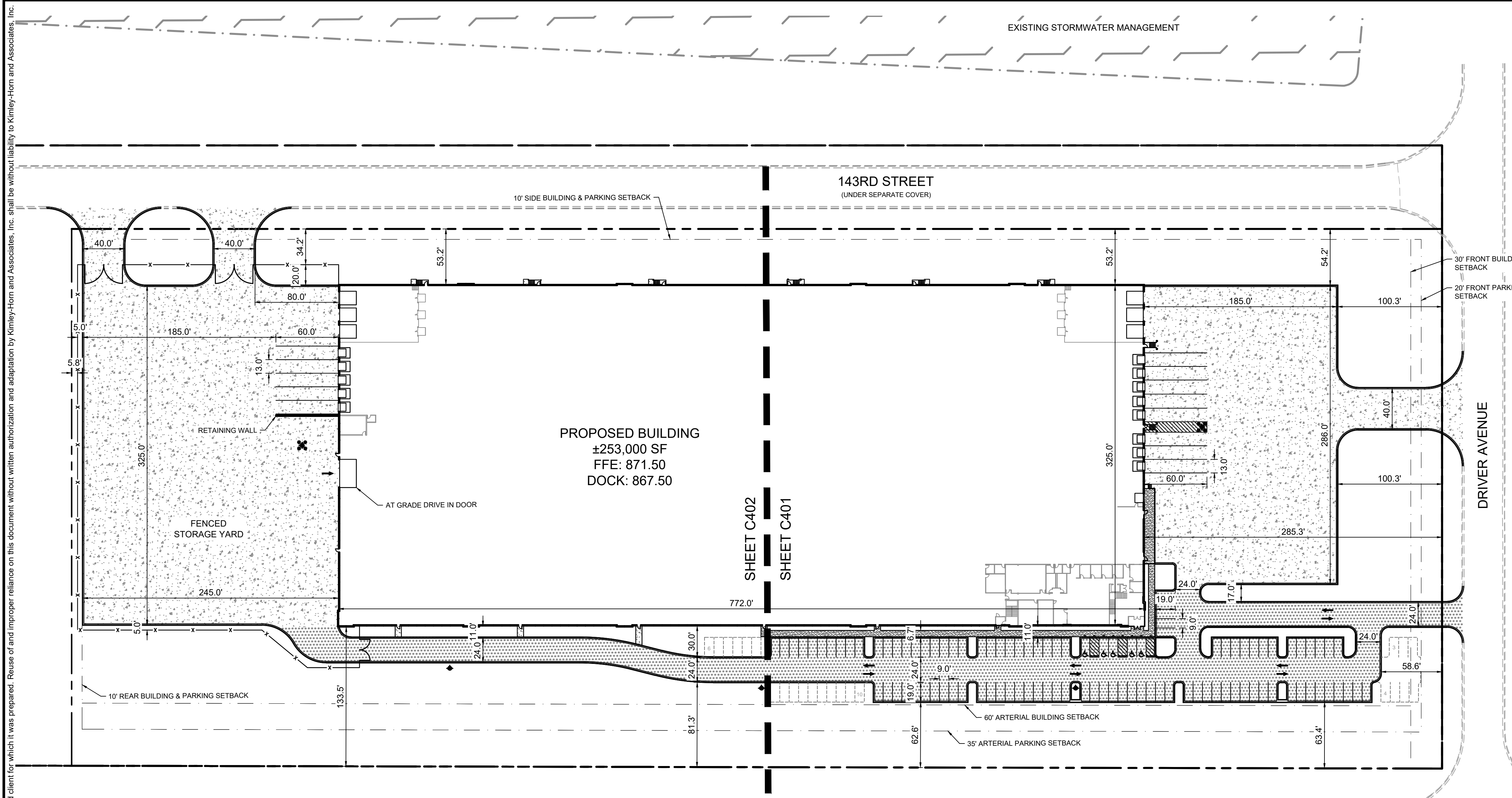
**DISCLAIMER:** Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping or any other architectural elements unless noted.

Fixture nomenclature to be finalized by engineer and/or architect. This drawings is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.



Designed By: K. Tomczak  
 Checked By: Jill Blomberg  
 Date: 4/1/2026  
 Scale: 1" = 50'

Rosemount



**LEGEND**

	PROPERTY LINE
	SETBACK LINE
	PROPOSED FENCE
	PROPOSED CURB AND GUTTER
	STANDARD DUTY ASPHALT PAVEMENT SEE DETAILS FOR SECTION
	STANDARD DUTY CONCRETE PAVEMENT / SIDEWALK SEE DETAILS FOR SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE DETAILS FOR SECTION

**PROPERTY SUMMARY**

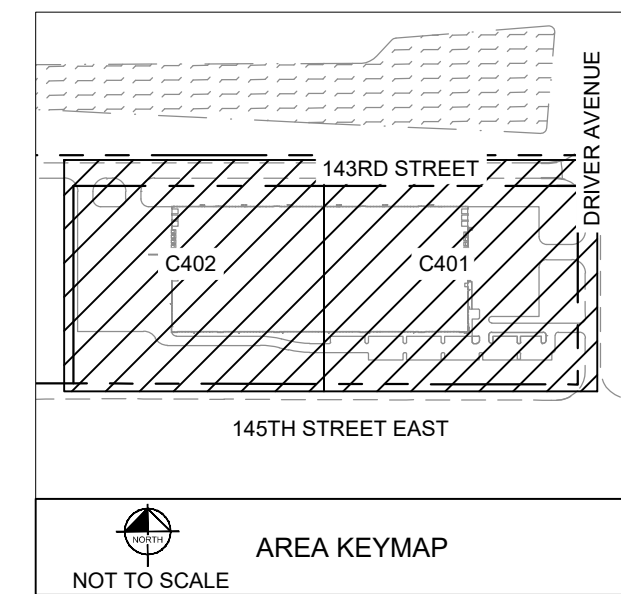
TOTAL PROPERTY AREA	15.54 AC / 676,900 SF
TOTAL DISTURBED AREA	13.78 AC / 598,400 SF
EXISTING IMPERVIOUS AREA	0.00 AC / 0 SF
EXISTING PERVIOUS AREA	15.54 AC / 676,900 SF
PROPOSED IMPERVIOUS AREA	10.47 AC / 456,100 SF
PROPOSED PERVIOUS AREA	5.07 AC / 220,800 SF

**SITE DATA**

EXISTING ZONING	A-2 AGRICULTURAL DISTRICT
PROPOSED ZONING	B-2 EMPLOYMENT DISTRICT
PARKING SETBACKS	ARTERIAL = 35' FRONT = 30' SIDE = 10' REAR = 10'
BUILDING SETBACKS	ARTERIAL = 60' FRONT = 30' SIDE = 10' REAR = 10'

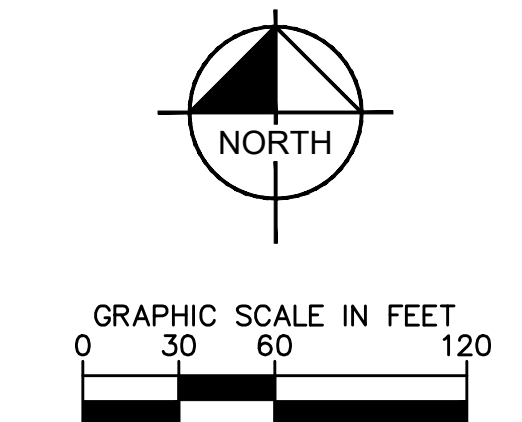
**BUILDING DATA SUMMARY**

<b>AREAS</b>	
TOTAL BUILDING AREA	5.81 AC / 253,000 SF
PERCENT OF TOTAL PROPERTY AREA	37%
<b>PARKING</b>	
REQUIRED PARKING	1/2000 SF GFA = 123 SPACES
PROPOSED PARKING	102 SPACES
PROPOSED PARKING (INCLUDING PROOF OF PARKING)	125 SPACES
ADA STALLS REQUIRED / PROVIDED	5 STALLS / 5 STALLS



**SITE PLAN NOTES**

- REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF STOOPS, TRUCK DOCKS, TRASH ENCLOSURES & PRECISE BUILDING DIMENSIONS. REFER TO THE SITE ELECTRICAL PLAN FOR LOCATIONS OF PROPOSED LIGHT POLES, CONDUITS, AND ELECTRICAL EQUIPMENT.
- REFER TO CERTIFIED SITE SURVEY OR PLAT FOR EXACT LOCATION OF EXISTING EASEMENTS, PROPERTY BOUNDARY DIMENSIONS, AND ADJACENT RIGHT-OF-WAY & PARCEL INFORMATION.
- DIMENSIONS AND RADII ARE DRAWN TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT, AND AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING EXISTING SITE IMPROVEMENTS THAT CONFLICT WITH THE PROPOSED WORK, INCLUDING BUT NOT LIMITED TO TRAFFIC SIGNS, LIGHT POLES, ABOVEGROUND UTILITIES, ETC. PERFORM WORK IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS. COST SHALL BE INCLUDED IN BASE BID.
- TYPICAL PARKING STALL DIMENSIONS SHALL BE 9.0-FEET IN WIDTH AND 19-FEET IN LENGTH UNLESS OTHERWISE INDICATED.
- MONUMENT SIGN(S) ARE DETAILED ON THE ARCHITECTURAL PLANS AND ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIGN DIMENSIONS, LOCATION AND REQUIRED PERMITS WITH THE OWNER.
- REFER TO 143RD STREET PLANS UNDER SEPARATE COVER TITLED "CITY OF ROSEMOUNT RICH VALLEY GOLF COURSE REDEVELOPMENT 143RD STREET"



PRELIMINARY - NOT FOR CONSTRUCTION

NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
 2026 KIMLEY-HORN AND ASSOCIATES, INC.  
 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
 PHONE: 651-454-1197  
 WWW.KIMLEY-HORN.COM

KHA PROJECT	160846047
DATE	03/18/2026
SCALE	AS SHOWN
DESIGNED BY	RAV
DRAWN BY	WLF
CHECKED BY	RAV

**OVERALL SITE PLAN**

ROSEMOUNT GOODIN  
 PREPARED FOR  
**SCANNELL PROPERTIES**  
 ROSEMOUNT MN

SHEET NUMBER  
**C400**





## Memorandum

To: Brian Erickson, City Engineer  
 Nick Egger, Director of Public Works  
 Anthony Nemcek, Senior Planner  
 Jane Byron, Storm Water Specialist

From: Amanda Sachi, PE  
 Kendra Fallon, PE  
 Kris Keller, PE

Date: April 17, 2026

Re: Rosemount Goodin - Site Review  
 143<sup>rd</sup> Street Plans – Plan Review  
 WSB Project No. 035461-000

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We reviewed the documents provided by Scannell on March 19, 2026. Documents reviewed include:

- Rosemount Goodin Site Development Plans, prepared by Kimley Horn dated 3/18/26
- 143<sup>rd</sup> Street Plans, prepared by Kimley Horn dated 3/25/26
- Stormwater Management Report prepared by Kimley Horn revised 3/18/26

Additional redline comments are provided on the submitted civil plans. Applicant should provide responses to each comment and redline comment. We offer the following comments below.

### Civil Comments:

1. General
  - a. Submit for and provide copies to the City of all required permits from regulatory agencies (MCES, Minnesota Pollution Control Agency, Minnesota Department of Health, NPDES, etc.) Applicant noted – Provide prior to construction
  - b. Address redline comments on attached plan sheets
2. Utilities
  - a. Applicant to submit for Minnesota Department of Labor plumbing plan review and provide approved plans to City prior to permit issuance Applicant noted - Provide prior to permit issuance
  - b. Verify whether one gate valve at connection and possibly one past 1st hydrant are all that is needed/desired for additional gate valves around loop
  - c. Call out all utility crossings
    - i. Provide top and bottom of pipes
    - ii. Maintain minimum 18" separation
    - iii. Insulate when separation is less than 36"
  - d. Provide profile of watermain loop
    - i. Maintain hydrants at service high points

- e. Show hydrant tees in profile
  - i. Adjust watermain and/or hydrant locations such that hydrants are located at all system high points
- 3. Streets, Signage and Street Lighting
  - a. Show fire truck turning movements
  - b. Parking areas need to meet ADA requirements
- 4. Landscape
  - a. No comments.

**Grading, Drainage, and Erosion Control Comments:**

- 5. General
  - a. No comments.
- 6. Ponds and Wetlands
  - a. No comments.
- 7. Emergency Overflow Routes:
  - a. Include EOF elevations and locations for all low points in the parking lot and along 143<sup>rd</sup> Street.
- 8. Retaining Walls:
  - a. Retaining walls greater than 4' tall require certified retaining wall design.
- 9. Erosion Control:
  - a. No comments.
- 10. Grading:
  - a. Include EOF elevations and locations for all low points in the parking lot and along 143<sup>rd</sup> Street.

**Stormwater Management Plan:**

- 11. General Storm Sewer Design
  - a. Include rational method storm sewer calculations and a catch basin drainage area map for the Goodin site proposed storm sewer to confirm it is sized for the 10-year event.
  - b. Profiles should be included for lateral/crossing storm sewer pipe runs along 143<sup>rd</sup> Street.
  - c. Tributary drainage area information for the storm stubs proposed for the future west development should be included in the catch basin drainage area map and Table T-3 to confirm assumptions and that offsite CSAH 42 drainage is accounted for.
  - d. The pipe from structure 117 to 116 is noted with 0.00% slope in the storm sewer design spreadsheet. This could not be verified since a crossing storm sewer profile was not provided but should be updated to have a positive slope with a minimum velocity of 3 fps.

- e. Sheet piling should be called out for the new inlet into the pond based on the storm sewer size. Call out on profile.
  - f. Add detail SD-10 for grouted riprap to the 143<sup>rd</sup> Street plans given the pipe size into the pond.
  - g. Update storm sewer stub location callouts on the plans and include stub elevations on lateral profiles when provided.
  - h. Provide how the 42" crossing from the drainage ditch was sized.
  - i. Show utility crossings on the lateral/drainage ditch profiles.
  - j. Set the invert of FES 152 to NURP cell NWL (839.0).
12. Water Quantity
- a. The Goodin and 143<sup>rd</sup> were planned for in the sizing of the NURP ponds and infiltration basins on the Rich Valley site, no additional BMPs are required for treatment.
13. Rate/Volume Control
- a. Previously 70% impervious was assumed for the future development just west of the Goodin site but the stormwater report updated for 2026 now only accounts for 60% future impervious on the lot of west of Goodin. This should be confirmed and noted why the planned impervious is being reduced.
  - b. The infiltration bottom area required column in Table 2 should be updated based on the updates to the contributing drainage areas as part of the 2026 update.
  - c. The offsite areas and curve numbers were updated in the stormwater report, the note says based on updated survey and site information. Please provide what updates were based on.
14. Freeboard
- d. It should be confirmed if the high water levels in the existing basins are modified as a result of some of the drainage area boundary changes with the Goodin/143<sup>rd</sup> projects. If so, freeboard requirements to existing buildings should be verified to still be met.
  - e. Electronic copies of HydroCAD models should be provided with future submittals to aid in review.
15. Water Quality
- a. No comments.
16. Easements
- f. No comments.

### **General**

Infrastructure design shall be completed in accordance with the City of Rosemount's Engineering Guidelines and Standards. Infrastructure construction shall be completed in accordance with the latest edition of the City's General Specifications and Standard Detail Plates for Street and Utility Construction.

Planning Commission Regular Meeting: April 28, 2026  
 Tentative City Council Meeting: May 19, 2026

<b>AGENDA ITEM:</b> Request by Zamira Selyukov for an amendment to the Rosemount zoning map to rezone the properties on 132nd Court from R-1 Low Density Residential to R-2 Low to Medium Density Residential.	<b>AGENDA SECTION:</b> PUBLIC HEARINGS
<b>PREPARED BY:</b> Anthony Nemcek , Senior Planner	<b>AGENDA NO.</b> 6.b.
<b>ATTACHMENTS:</b> Site Location, Rezoning Exhibit, Close Up Aerial, Petition	<b>APPROVED BY:</b> AK
<b>RECOMMENDED ACTION: Motion</b> to recommend the City Council approve an amendment to the Rosemount zoning map to rezone the properties in the Lan-O-Ken subdivision from R-1 Low Density Residential to R-2 Low to Medium Density Residential.	

### BACKGROUND

This is an atypical request as it is not tied to a new development. Instead, it is being requested for an established neighborhood by an owner of a property within the subject area. The applicant, Zamira Selyukov, purchased the property at 2645 132nd Court in 2025. It was marketed as a legal duplex with two active rental licenses. The applicant planned improvements to the property, and it was during the building permitting process that staff uncovered that the property was not a legal duplex and had no rental licenses for either dwelling unit. The applicant discussed their plans with Community Development staff and asked how to proceed with bringing their property into compliance with the zoning ordinance in order to receive building permits for the improvements to the property. Staff advised that the path forward would be to rezone the property to the R-2 zoning district, which allows duplexes and twin homes.

Staff was generally supportive of the rezoning due to the fact there are already other nonconforming duplexes that were built before the zoning code was adopted. These are shown on the attached close aerial and indicated with stars. The applicant's property is indicated with a hatched star. Because the rezoning request would impact a number of properties not owned by the applicant, staff directed the applicant to ask their neighbors to sign onto the request via a petition. With their application, the applicant provided a petition signed by owners of eight of the fourteen properties (in addition to the applicant). Based on the existing nonconforming duplexes and the petition to the City for the rezoning, staff is recommending approval of the requested zoning map amendment.

### History

The Lan-O-Ken subdivision was approved and platted in March 1962. Originally developed as a rural residential neighborhood, each property was served by private wells and septic systems. A project to

reconstruct Old County Road 38, which became 132nd Street West and then finally Bonaire Path, took place in 2008. Ahead of that project, because there were failing septic systems within the Lan-O-Ken subdivision, the City decided to add serving those properties with City sewer and water as part of the reconstruction of what is now Bonaire Path. To facilitate that project, the City amended the Comprehensive Plan to bring the subject area into the MUSA and to rezone it from Rural Residential to R-1 Low Density Residential. Staff's research into those approvals found no discussion related to the existing nonconforming duplexes or if they were even considered when determining which zoning district should be applied to this subdivision.

**Land Use and Zoning**

The proposed zoning district, R-2, conforms to the comprehensive plan and LDR-Low Density Residential land use designation. While R-1 is the primary zoning district allowed by the Comprehensive Plan in the LDR land use designation, the plan does allow for R-2 as a limited, secondary zoning district within that designation.

The density range for LDR is 1 to 6 units per acre. The subdivision has a current density of 2.18 units per acre. If each property owner decided to convert their property to a duplex (unlikely), the subdivision would have a density of 3.8 units per acre. The parcels also meet the minimum lot size for the R-2 zoning district of 12,500 square feet. The smallest parcel is 13,545 square feet. Seven of the fourteen lots don't meet the 100' lot width minimum of the R-2 zoning district, coming in at around 90' wide.

Staff finds that dimensional nonconformities are preferable to nonconforming uses. The zoning code allows dimensional variances but does not allow use variances. The table below shows a comparison between the code requirements and the rezoning area.

	Required	Provided
Density	1 to 6 units per acre	2.18 units per acre (potentially 3.8 units per acre)
Lot Area	12,500 square feet	13,545 square feet
Lot Width	100 feet	90 feet

**RECOMMENDATION**

Staff is recommending approval of the rezoning. This is based on the elimination of the existing nonconforming uses in the subject area and the consistency of the proposed rezoning with the City's adopted comprehensive land use plan.



130TH ST W

DODD BLVD

132ND ST W

ROBERT TRLS

BONAIRE PATH W

Kegan Lake

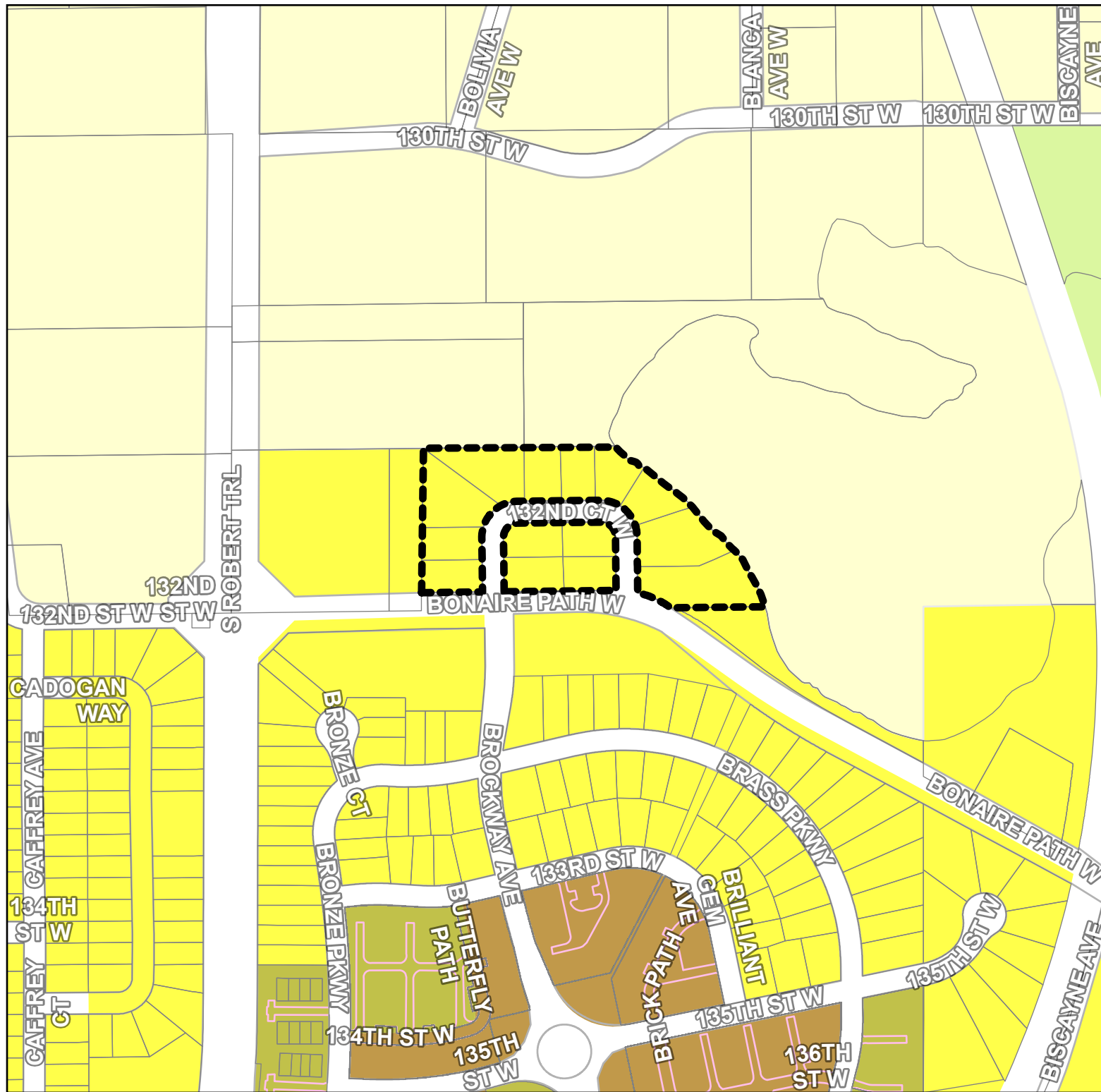
CAFFREY AVE

CADOGAN WAY

BRONZE PKWY

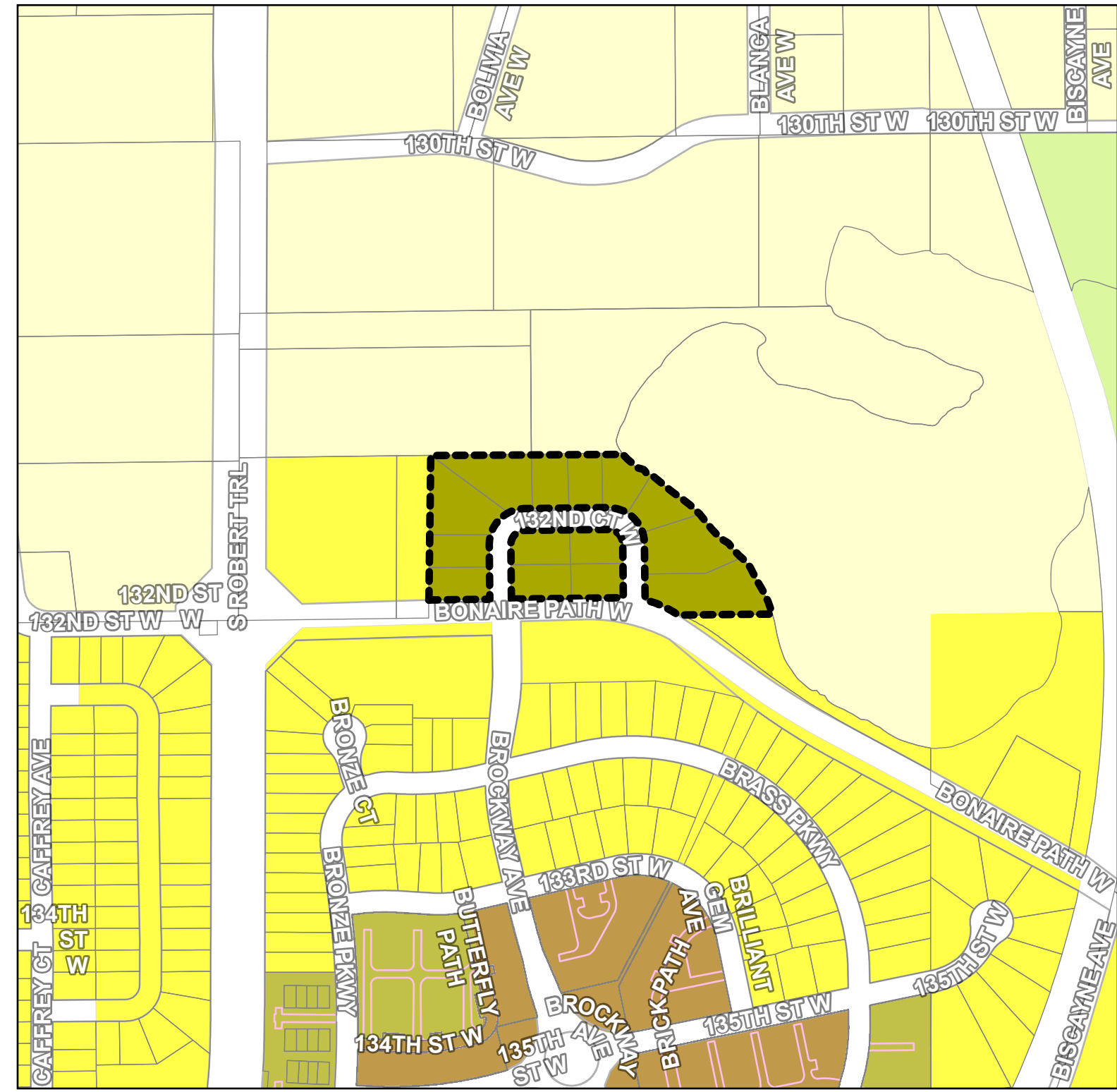
BROCKWAY AVE

BRASS PKWY



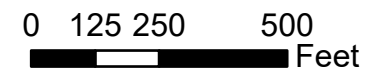
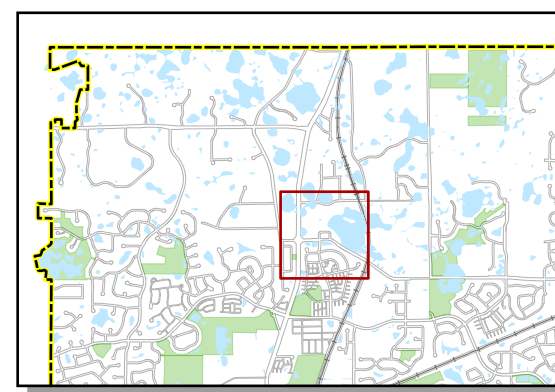
**Current Zoning**

- A-2 - Agricultural District
- R-1 - Low Density Traditional Residential District
- R-2 - Low to Medium Density Residential District
- R-3 - Medium Density Residential District
- Rural Residential District

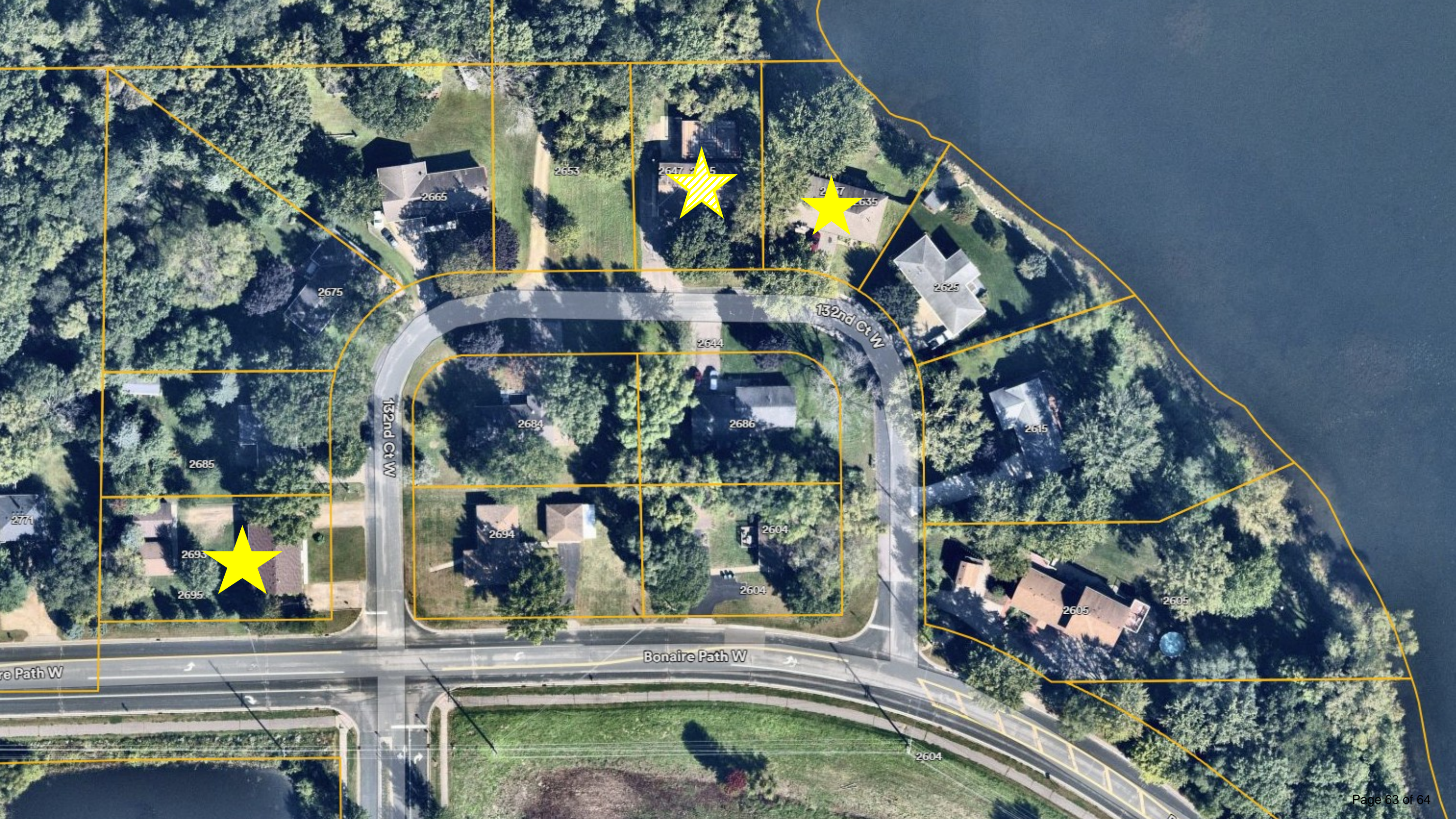


**Proposed Zoning**

- R-2 - Low to Medium Density Residential District



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PETITION TO REZONE

To: City of Rosemount --- Planning and Zoning Commission

Date: 3-17-2026

We, the undersigned property owners, hereby petition the Planning and Zoning Commission to rezone the following property:

- Property Address/Location: 2645 132nd Ct W, Rosemount, MN
- Current Zoning: [e.g., R-1 Residential]
- Proposed Zoning: [R-2]

By signing below, I certify that I am a property owner within the designated [e.g., 350-foot] notice radius of the property above.

Name (Printed)	Signature	Address	Date
Christian Mumm		2675 132nd Ct W.	3/17/26
Anne Pezacki		2684 132nd Ct	3/17/26
Lars + Dale Jahnz		2625 132nd Ct W	3-17-26

Allan + Janet

Feldsien Grant Feldsien

2694 132 Ct W

3-17-26

Joseph + Erin Kergh

2685 132nd Ct W

3-17-26

Austin Younger

2665 132nd Ct W.

3-17-26

Lahri Wong

1271 Dumberry Ln.

3/18/26

Ramona Meers

2615-132nd Ct. W.

3/18/26